



SECURITY PROPERTIES

BUMGARDNER
architecture • planning • interiors

Applicant Team:

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Belltown 36

314 Bell St, Seattle, WA 98121

EARLY DESIGN GUIDANCE #3

SDCI NUMBER: 3028930

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Development Objectives

Project Statistics:

- 30 Stories
- Approximately 325 Residential Units
- Approximately 342,000 GSF Commercial/Residential Above Grade
- Approximately 250 Structured Parking Spaces
- Approximately 7,000 SF Retail

Development Objectives:

1.

Street Level

Provide street side development that encourages a safe, active and diverse experience that recognizes the unique values of Bell Street Green Street, the proposed 4th Ave Cycle Track, and the Belltown Alley Program
2.

Development Potential

Create the maximum allowed residential development possible on this 19,440 sf high-rise zoned site (about 342,000 GSF). Note that, while the residential development allowed by the recent HALA rezone foresees four 280’ residential towers on this block, it is unlikely that any other 280’ towers will be built. Any such development would require the removal of one of the two 1920’s era 3-1/2 story brick apartments (the Adams or the Fleming) or the demolition of the new 7-story Moda apartments.
3.

Maximize Affordable Housing [HALA] Funding

Maximizing the site’s development potential provides the maximum amount of HALA funding for affordable housing the site can provide.

4.

Family Housing

Create housing suitable for families with children.
5.

Livability

Create residential amenity spaces that complement downtown living: Maximize the amount of usable rooftop recreation, amenity and outdoor space.
6.

Parking

Right-size the parking to meet the residents’ needs without overbuilding.
7.

Sustainability

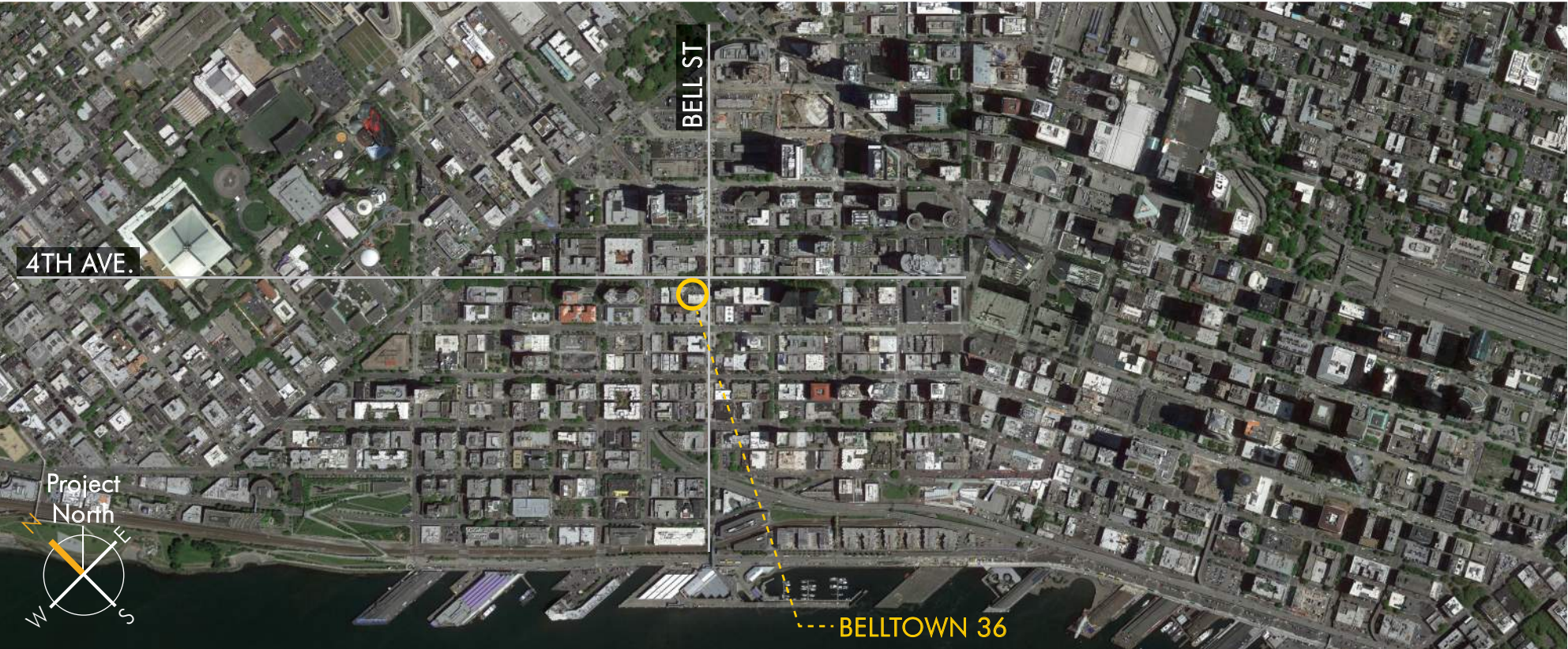
Attain LEED Silver.
8.

Context

Architecturally honor and enhance the vitality of the two adjacent brick apartment buildings from the 1920’s and 1930’s, The Adams and The Fleming. No structures on-site have landmark status.Two Bells, Tavern was nominated in the past, but did not receive Landmark Status. Since then, most of the architectural interest on the façade of Two Bells has been removed, leaving only memories worth preserving.
9.

Honor the Past Artfully

Recognize the art and patrons of Two Bells Tavern in its heyday, in an appropriately artful way.





Looking west on Bell Street Park

Belltown
36 Site

C-1 “The sidewalk is the essence of the pedestrian experience. Vary the size, width and depth of commercial spaces, accomodating for smaller businesses, where feasible.

Requested by the Greater Belltown Community
Supports **Guidelines A1, B1, B2, B3, B4, C1, C6 and
Belltown Alley Program**



Two Bells’
Secret Garden

D-1 “Provide inviting and usable space to promote a visually pleasing, safe, and active environment for workers, residents, and visitors” The Two Bells Secret Garden will be honored with a Mid-Block Green Connection from 4th Avenue to the alley in the Community Preferred Option creating opportunities for multiple small retail spaces and bringing life to the alley.

Requested by the Greater Belltown Community
Supports **Guidelines A1, B1, C6, D1, D2, D3 and
Belltown Alley Program**



The Adams Historic Affordable Housing



The Fleming Historic Low-Income Housing

B-1 “Design visually attractive buildings that add richness and variety to Belltown and complement the architectural character of an adjacent historic building.”

Requested by the Greater Belltown Community
Supports **Guidelines A1, B1, B2, B3, B4.**

C-1 “Spaces for street level uses should be designed to engage pedestrians with activities occurring within them... reinforce retail concentrations with a desire to have commercial spaces to accomodate smaller businesses”

C-6 “In designing a well-proportioned and unified building the alley facade should not be ignored. An alley facade should be treated with form, scale and materials similar to rest of the building to create a coherent architectural concept.”

Requested by the Greater Belltown Community
Supports **Guidelines A1, B1, B2, B3, B4 and
Belltown Alley Program**



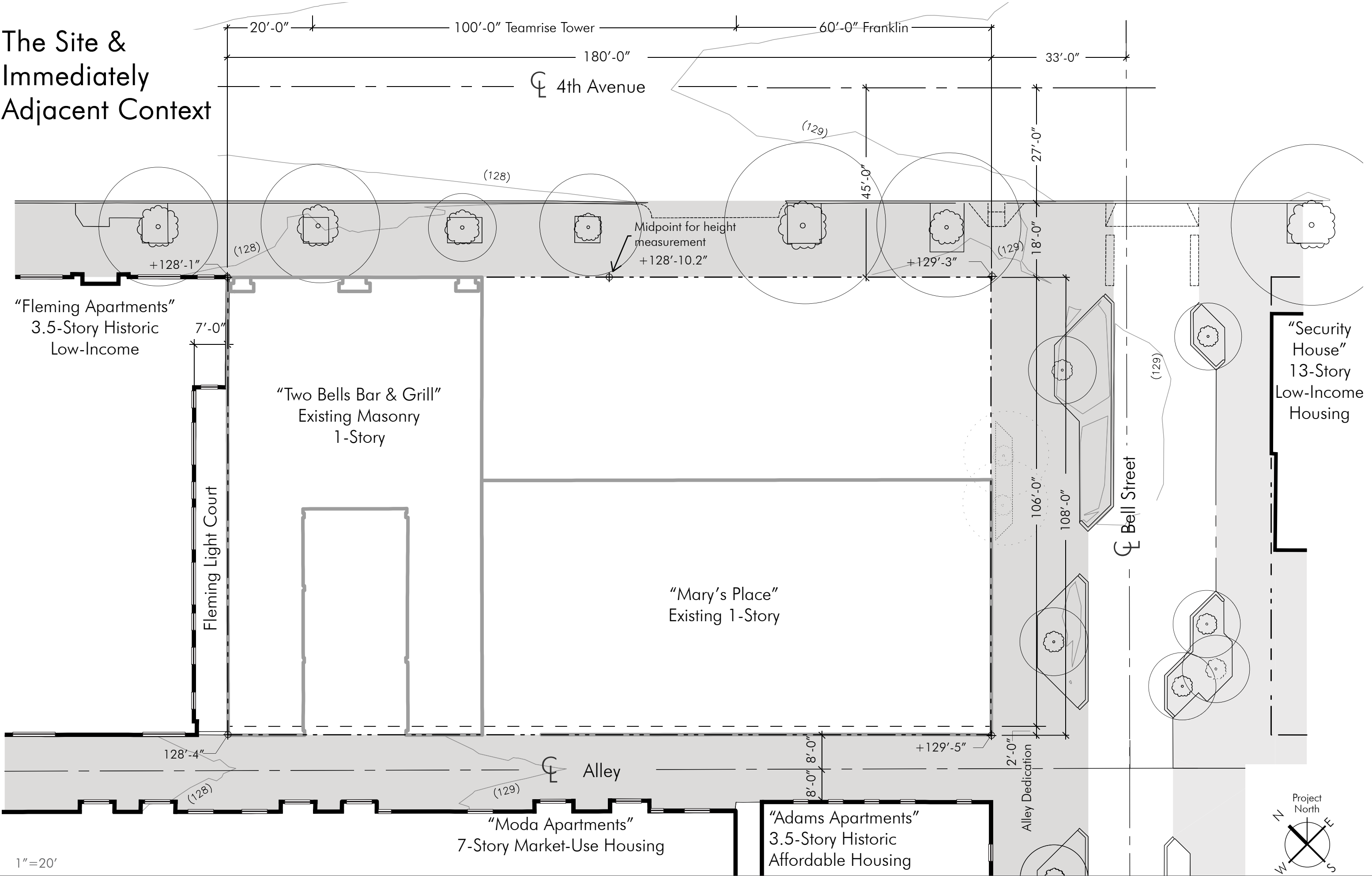
Potential art imagined by Belltown Alley Program
for Mary’s Place wall



B36 Alley at Bell, The Adams and Moda Apartments on
the left, Mary’s Place on the right

4.0 The Site

The Site & Immediately Adjacent Context



The Adams | Historic Affordable Housing



107'-6"
Bell Street Elevation



Alley Entrance
Courtyard



20 Windows of Adams
receive light and air
from alley

Existing One-Story



Alley Entrance



Alley Entrance
Courtyard

Historic Relationship of One Story Structure Immediately Adjacent

The Fleming | Historic Low-Income Housing



Fleming Light Court
in Summer

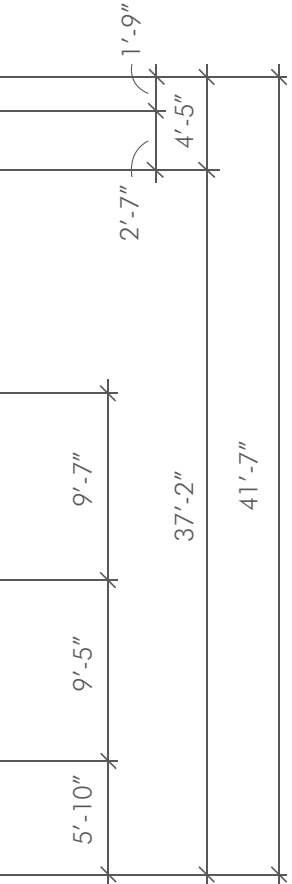


Fleming Light Court
in Fall



60'

4th Ave Elevation



South Elevation

Showing Light Court Windows (36 Total) and Historic Sign at Property Line





Public Open Space

The existing Two Bells contains a “Secret Garden”, beloved by the neighborhood, and rich in its history of art.

The Community asked that this be incorporated in the redevelopment.

The proposed *Midblock Green Connector* of the Community Preferred Option #3 is a much larger, open to the public connection between 4th Avenue and the Alley.

The Community asked that the memory of Two Bells and the artists that frequented it also be incorporated in the redevelopment.

The proposed *Midblock Green Connector* of the Community Preferred Option #3 contains space for a full size artful reconstruction of the façade as well as many artifacts created by Belltown artists over the years.



Design Inspiration: Tower | Materiality & Proportions

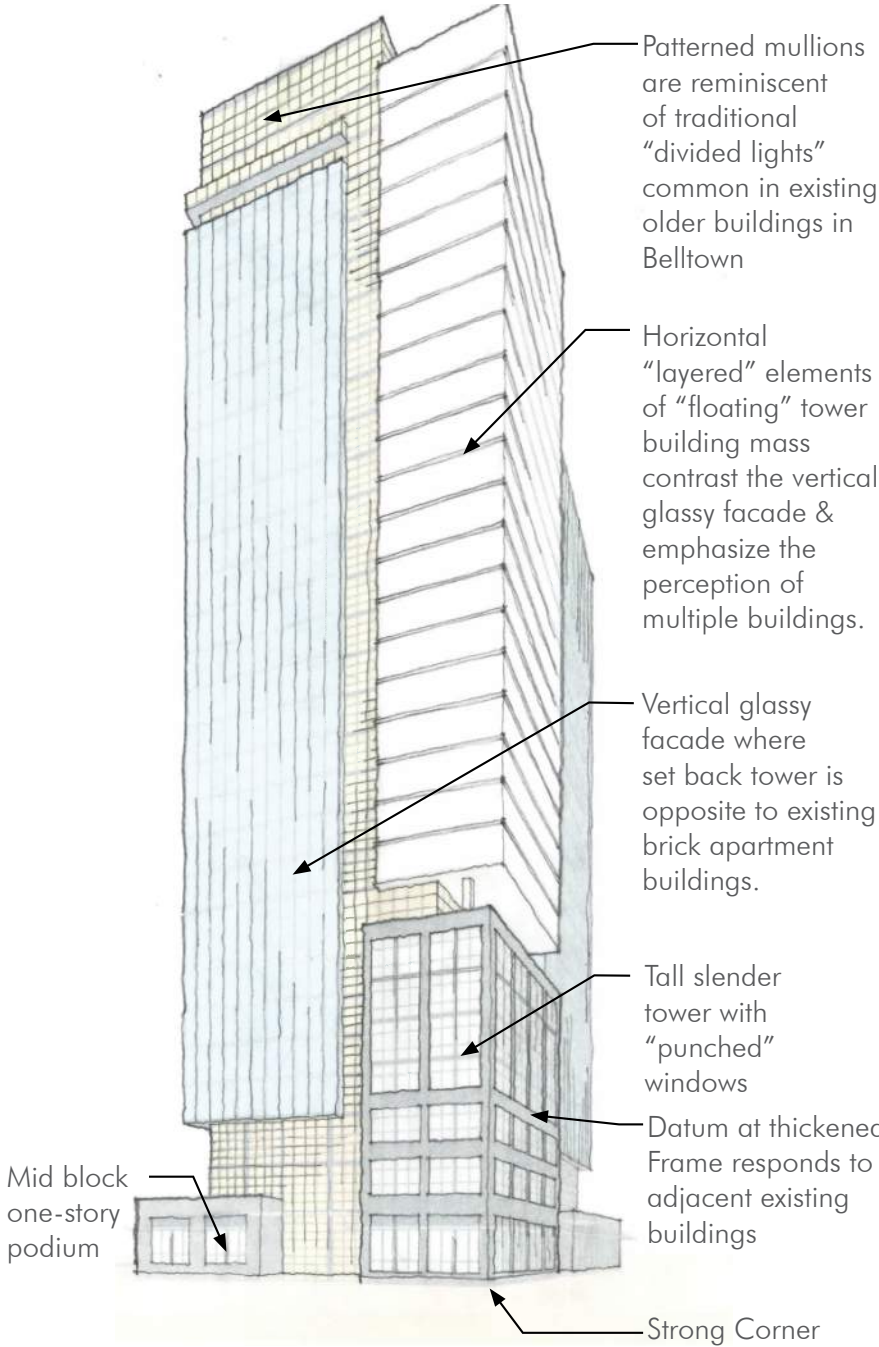
Belltown Precedents:
Slender Towers that hold the street corner with a strong retail presence and with a mid-block reduced pedestrian scale podium.

Guidelines A2 & B4-Enhancing the skyline with a well-proportioned & unified Building:
Breaking the building into multiple clear separate forms reduces the mass and scale of the overall building and allows for multiple distinct, but complementary material vernaculars that reinforce the perception of the tower as separate buildings populating the evolving Seattle skyline. All three massing options leverage this approach to reduce scale and establish a consistent material palette across all options.



Petite Tower/Strong Corner
The Securities Building
3rd & Virginia

- 1. 1-1/2 Story Partial Podium
- 2. 10 Story Petite Tower
- 3. Strong Corner



Option 3: Community Preferred Shown
Option 1 & 2 Similar in Material Palette



Subdued slab edge emphasizes verticality



Stacked Building elements emphasize horizontality over verticality



Reflective glass mirrors façade of existing brick buildings



Traditional "divided lights " of existing Belltown buildings add texture and warmth to large window openings.



Screened parking garage in Belltown appears to be residential units from the street

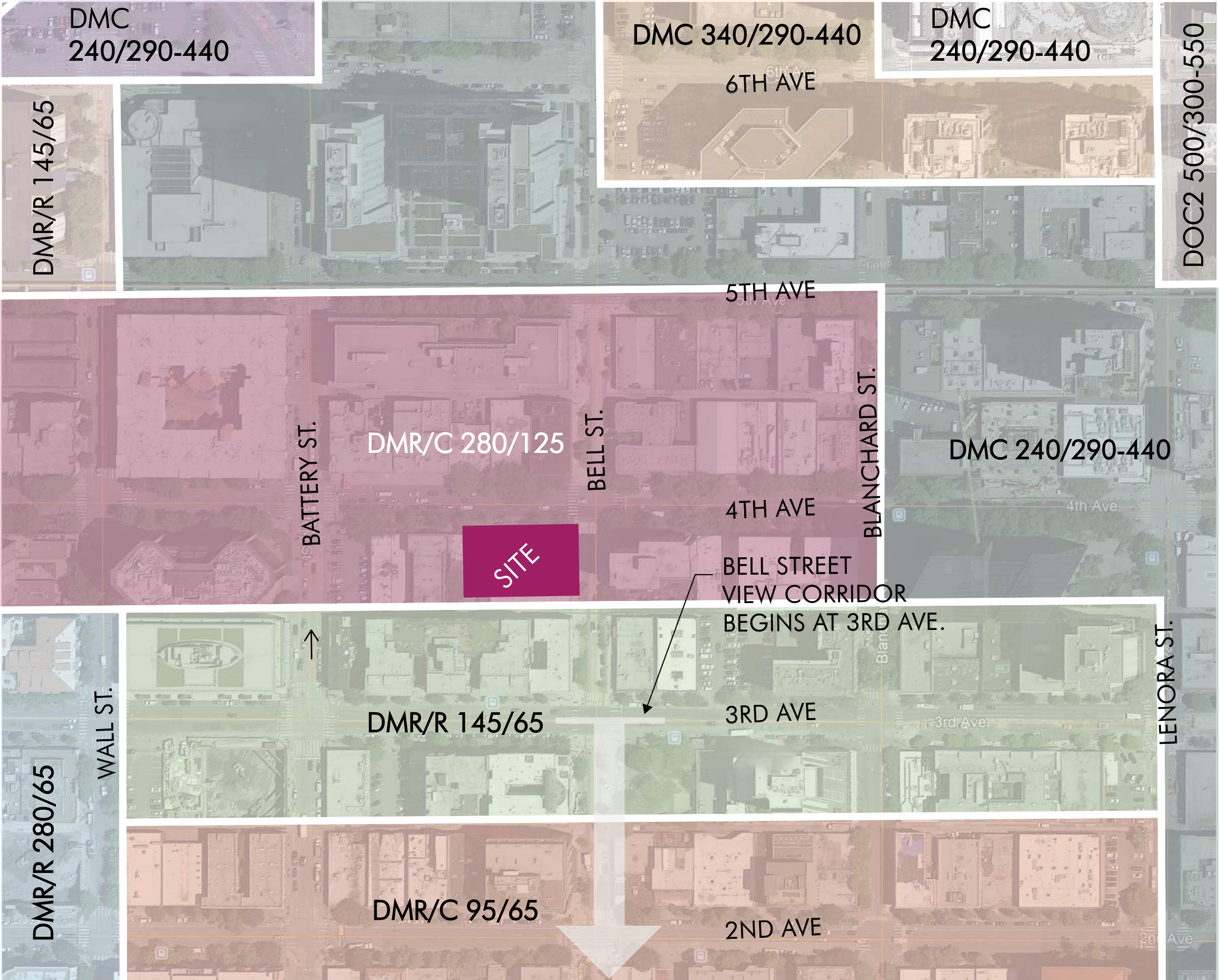


Dark Textured "Clinker" Brick



"Punched Opening" façade made from a window wall glazing system

Zoning



Number of Stories / Zoning Heights

Legend

Number of Stories (Existing)

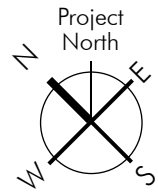
Number of Stories (Proposed)

Maximum Height
Allowed by Zone

Maximum Height
Allowed by Zone

Maximum Height
Allowed by Zone

Maximum Height
Allowed by Zone



12 BLOCK AREA



Zoning Summary

DMR/C280/125

Uses

Zoning encourages residential uses above active pedestrian oriented street level uses. Office use is allowed, but allowed height is lower than residential.

Height

This area was recently up-zoned to allow residential uses up to 280' tall in exchange for mandatory affordable housing (HALA). An additional 10' in height (to 290') is allowed if 'Kid-friendly' units are provided below 85'. Non-residential uses are limited to 125' tall.

Minimum Lot Size

Lots of less than 19,000 sf are limited to a Maximum Height of 145'.

Floor Plates (Maximum Lot Coverage)

Gross building areas are incrementally restricted above 65' ranging from 12,636 sf at 65' to 8,748 sf above 145', with two intermediate steps between.

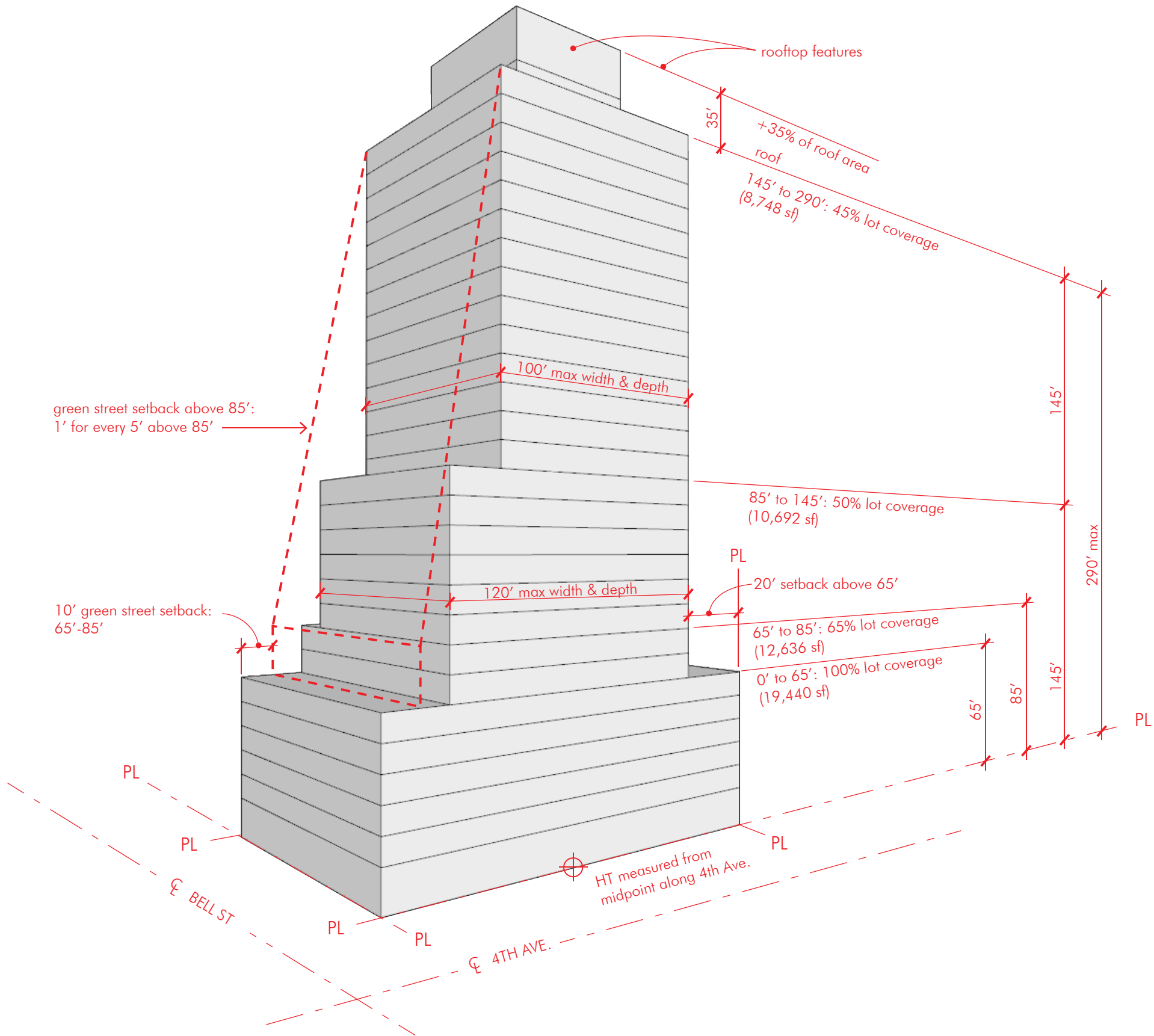
Green Street Setbacks (Bell Street)

Incremental setbacks from Bell Street are required above 65', where the setback is 10'. For every 5' of height above 65', the structure must be set back another foot.

Maximum Width and Depth

From 65' to 145' both width and depth are restricted to 120'. Above 145' they are restricted to 100'.

An additional 10' in height (to 290') is allowed if "kid friendly" units are provided below 85'.



7.0 Priority Guidelines

Priority Guidelines

A - SITE PLANNING & MASSING

A-1: Respond to the physical environment (Downtown & Belltown Specific)

Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site.

Why a priority?

- Belltown has a vast diversity of forms, styles, topography, urban grid, views, landmarks, and physical personality, providing a rich palate of influences for new developments to draw from. Some of these influences can conflict with each other; it is how we weigh these influences that will shape the future of Belltown.

Response

- Starting at Second Ave, Belltown slopes dramatically toward the waterfront, and along the southern and northern borders of Belltown, there are many unique and interesting triangular-shaped blocks. However, B36 is located on a square flat site.

Therefore, per Guideline A-1, all three massing options look toward patterns in urban form, access to direct sunlight, views of noteworthy natural features, and to Seattle’s future growing need for denser housing for inspiration to their different approaches to massing.



A-2: Enhance the skyline. (Downtown Guideline)

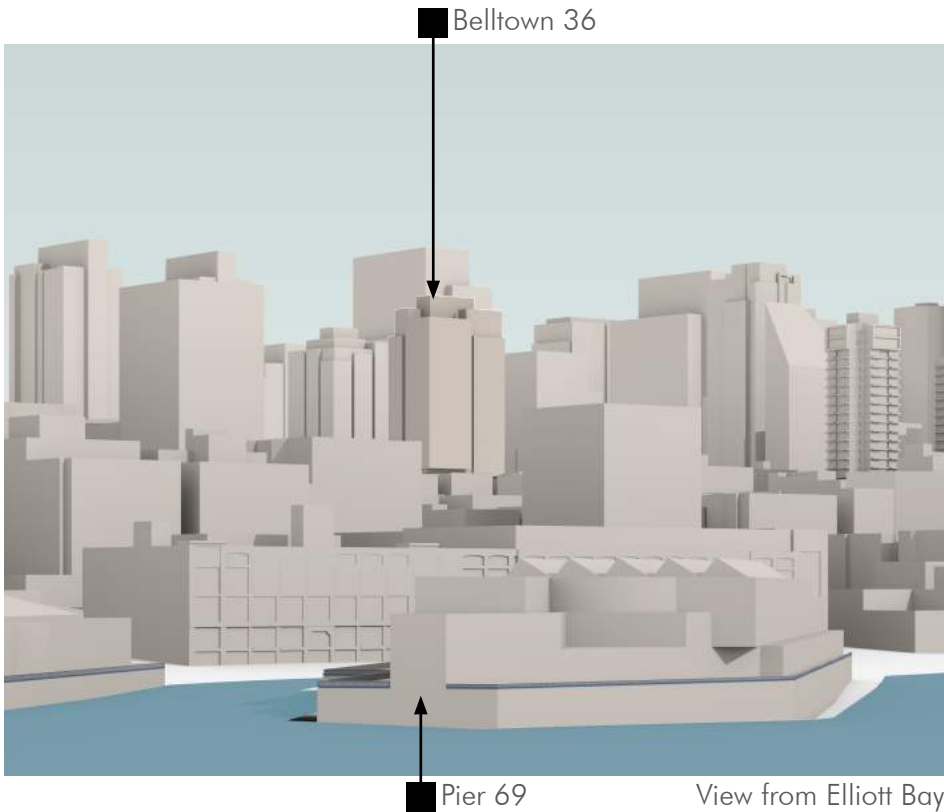
Design the upper portion of the building to promote visual interest and variety in the downtown skyline. Respect existing landmarks while responding to the skyline’s present and planned profile.

Why a priority?

- Much of this tower will be very visible from Elliott Bay. It is located at a high point of Belltown. Zoning across the alley to the waterfront allows structures only half the height of this site.

Response

- Structures stand out from a distance best if they have large simple components. All proposed massing options employ significant vertical articulation through the use of vertical alleys to organize the tower into slender simple building forms, creating a sense of verticality throughout the height of the tower. These distinct building forms, when clad in different but complimentary materials, create the presentation of a tower composed of multiple separate smaller buildings populating the skyline. Lighting and color will be used to further emphasize recessed vertical alley recesses. Whether seen while walking down the street, arriving in Seattle from the Victoria Clipper, or from the new Space Needle observation deck, all three massing options will enhance the Seattle skyline.



B - ARCHITECTURAL EXPRESSION

B-1: Respond to the neighborhood context. (Belltown Specific)

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

Why a priority?

Desirable Urban Features:

- The immediate context is one of the best residential corners of Belltown, with four brick apartment building immediately adjacent, across the street, or kitty corner (The Fleming, the Adams, the Franklin, and the Charlesgate).
- The two immediately adjacent 3-1/2 story brick apartments: the Adams and the Fleming- have significant windows that derive much of their light and air from the B36 site.
- These brick buildings contribute architecturally to the area, but also provide affordable housing.

Response

- Each massing reflects and responds to the character of the neighborhood in different ways. The Community Preferred option prioritizes providing light and air to the adjacent apartments and responds to their regulating lines established by the their roof lines to govern significant second and third level setbacks, which reveal and reinforce their historic features. The Study Request Option follows the pattern of 3.5-story buildings set in the surrounding fabric with a 4-story, full-site podium with open space on the 4th floor along the Bell Street Green Street and significant Green Street Setbacks. The Code Compliant Option emphasizes the patterned punched window brick facades common in Belltown that present unique architectural character with thoughtful detailing.



Priority Guidelines

B - ARCHITECTURAL EXPRESSION

B-2 Create a transition in bulk and scale (Belltown Specific)

Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby less-intensive zones.

Why a priority?

- New high-rise and half- to full-block developments are juxtaposed with older and smaller scale buildings throughout the neighborhood. New high-rise development *must do a better job* of relating- especially at the base- to the scale, character and orientation of older buildings and the street level environment.

Response

- As noted in its language, Guideline B-2 is not a specific technique but an overarching goal, that new high-rises need to do a better job, particularly at the base of relating and transitioning to the existing scale, character and orientation of older buildings.
The massing of all three option are significantly influenced by Guideline B-2. Each massing option prioritizes the competing influences of existing Belltown differently resulting in three different but unified designs.



■ The Adams Apartments

■ Option 3: Community Preferred

■ The Franklin

B - ARCHITECTURAL EXPRESSION

B-3 Reinforce the positive urban form and architectural attributes of the immediate area (Belltown Specific)

The principal objective of this guideline is to promote scale and character compatibility through reinforcement of the desirable patterns of massing and facade composition found in the surrounding area. Pay particular attention to designated landmarks and other noteworthy buildings.

b. Use regulating lines to promote contextual harmony, solidify the relationship between new and old buildings, and lead the eye down the street.

Why a priority?

Pattern of Massing: Diversity of Scale

- The neighborhood benefits from a wide diversity of scale, ranging from very short (one story) to very tall (high-rise) structures interspersed with each other.

Regulating lines

- The two immediately adjacent brick apartments are both about the same height, 3-1/2 story.

Response

- This site benefits from a wide diversity scale, ranging from very short (one story) to very tall (high-rise) structures interspersed with each other. Each option pays particular attention to noteworthy buildings with subtle references that honor the adjacent apartments without trying to replicate an unnecessary parapet or belt course.

B-4: Design a well-proportioned & unified building. (Downtown Guideline)

Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

Why a priority?

- The existing zoning code requires a variety of setbacks and floor reductions and combined with arequired Green Street setback on Bell Street combine to compete with the desire for a “well-proportioned and unified building”.

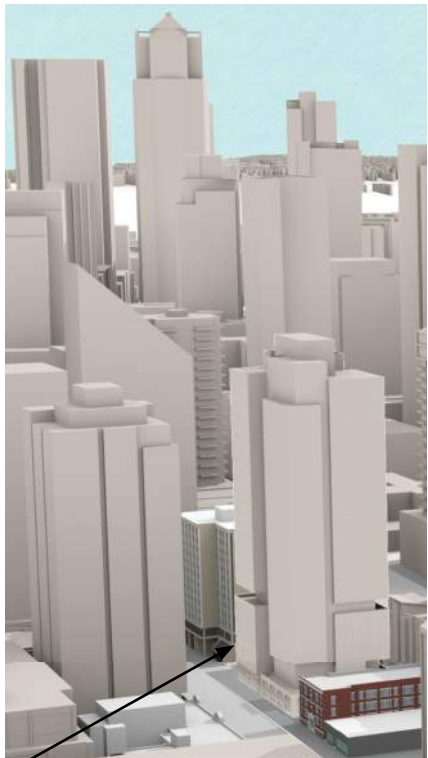
Response

- The vertical articulation provided by the vertical alleys in all three massing options help divide the tower into slender’ simple, distinct building forms, allowing for better control of the proportional relationship of the tower to the base, and in the case of the Code Compliant Option, minimize the awkward “wedding cake” massing.

The distinct building forms created in each option allow more opportunities for the materiality to add a unique character to each form without competing with each other. This helps emphasize their proportionality and relationships to existing adjacent building scales and proportions. The result are three well-portioned and unified building masses that respond to the design guidelines in their own unique ways.



■ Option 1: Code Compliant



■ Option 3: Community Preferred

Priority Guidelines

C - THE STREETScape

C-1: Promote pedestrian interaction.

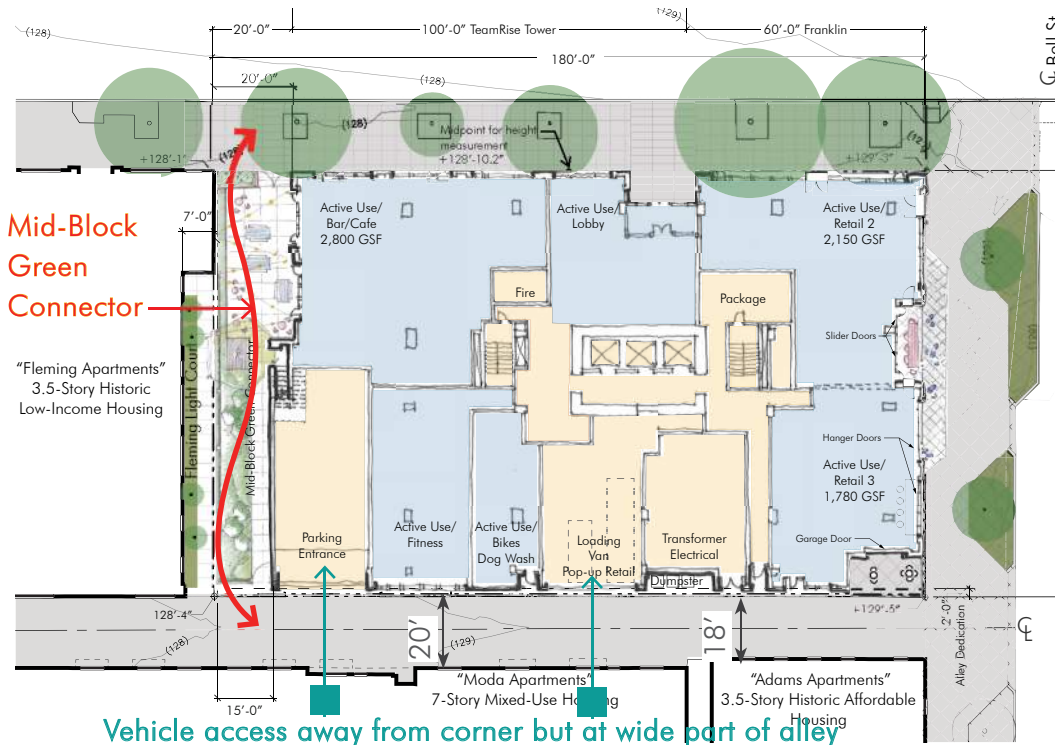
Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should appear safe, welcoming, and open to the general public.

Why a priority?

- Providing active use of various scales and functions on all sides provides safer streets and alleys, enlivening the neighborhood and encouraging community interaction.
- The site fronts a Green Street and an alley that both would benefit from street level uses designed to engage pedestrians and support more of the alley culture as sustained and subsidized by the City of Seattle through the Belltown Alley Program.

Response

- All options provide active retail space along 4th Avenue and the Bell Street, on a block that is primarily dominated by private residential or office entries along the Green Street's public areas.
- However, due to the functionality of the tower and tower spacing, only Community Preferred Option Three allows for a chamfered alley corner along Bell Street to create a small retail use (also identified in A-1 as a Belltown characteristic). In addition, Option Three is the only design that allows for a Mid-Block Green connector from 4th Avenue to the alley creating opportunities for small retail spaces to front this connection, creating a new open space in Belltown to gather and bring vitality to the alley.



C-6: Develop the alley facade (Belltown Specific)

To increase pedestrian safety, comfort, and interest, develop portions of the alley facade in response to the unique conditions of the site or project.

Why a priority?

- Pedestrian circulation is an integral part of the site layout. By providing elements such as landscaping and special paving, you can define a pedestrian-friendly environment in the alley.
- The Bell Street Park is located in the heart of Belltown, bounded by 5th Avenue on the east and 1st Avenue on the west. Belltown Community Council Parks + Arts seek to beautify and activate the alleys around the park by installing public art on the walls and surrounding alleys.
- The addition of artwork to the walls would infuse the alley with color and vibrancy, as well as attract more visitors to Bell Street Park and provide an enhanced pathway to other attractions. What are now underutilized spaces can one day be filled with community artwork and can offer people a new place to gather and enjoy the open spaces our city has to offer.

Response

- All three options will include a commitment to the addition of artwork to infuse the alley with color and vibrancy, as well as attract more visitors to Bell Street Park. New murals have already been commissioned on the former Two Bells building as an early commitment and support for the Belltown Alley Program.
- The Community Preferred Option Three includes space for small retail spaces all with frontage on the "Mid-Block Green Connector" or the Bell Street Green Park. The proposed spaces are in keeping with typical retail in the adjacent area.
 1. Retail accessed off the alley, with a chamfered corner for spill-out space
 2. Opportunities for resident amenities opening to the alley and providing light spill and interest
 3. An actively managed through-block connection from 4th avenue to the Alley



D - PUBLIC AMENITIES

D-1: Provide inviting and usable open space. (Downtown Guidelines)

Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors.

Why a priority?

- There is a beloved "Mid-Block Green Connector" on the site.
- The site has a history of interesting community-based art.

Response

- All three options are thoughtfully designed to provide inviting and useable open space with attention to solar access. Only Option Three provides new open space with the Mid-Block Green Connector that provides opportunities to accommodate a tribute to the former Two Bells. It is also the only option that considers solar access for the noteworthy and historic adjacent buildings as noted in guidelines B1, B2, and B3.



Priority Guidelines

D - PUBLIC AMENITIES

D-2: Enhance the building with landscaping (Belltown Specific)

Enhance the building and site with generous landscaping-which includes special pavements, trellises, screenwalls, planters and site furniture, as well as living plant materials.

Why a priority?

- The Belltown Alley Program borders our site on the west, the Bell Street Green Street on the South, and the 4th avenue bike lane project on the east, all of which provide opportunities to enhance the pedestrian experience and engage with the community.

Response

- Both Fourth Avenue and Bell Street frontages will receive upgrades to current landscaping in all options. Extended existing tree wells and new extended planting beds will help shield pedestrians from the street and the new cycle lanes along Fourth Avenue. The location of retail along Bell Street will provide the opportunity for site furniture and activation by potential restaurant and café use.
- Only Community Preferred Option Three includes the Midblock Green Connector between Fourth Avenue and the alley – a tribute to the former Two Bells and a welcomed addition of generous landscaping, special pavement, art walls, planters, and additional site furniture to a dense urban site and neighborhood.



D-3 Provide elements that define the place (Belltown Specific)

Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive and memorable “sense of place” associated with the building.

Why a priority?

- The Belltown Alley Program borders our side on the west. The Bell Street Green Street borders our side to the south, and the Fourth Avenue bike lane project borders our site to the east. Each of these assets provides opportunities to enhance the pedestrian experience and engage the community.

Response

- All three options will include a commitment to the addition of artwork to the alley podium façade, to infuse the alley with color and vibrancy, as well as attract more visitors to Bell Street Park.
- Only Community Preferred Option Three includes the Midblock Green Connector between Fourth Avenue and the alley – a tribute to the former Two Bells and an opportunity to potentially incorporate artifacts from the former tavern and/or benches and tables from the former iconic “Secret Garden”, to conjure special memories of the history of this place.



Public Comment

Supported the departures as they will allow light and air to the neighboring buildings and *will be a good neighbor*

Support Family Friendly Units

Encouraged a design with *smaller floor plates at the top to help preserve views*

Stated that *open space should be along Bell St, not the alley*

Encouraged *moving the building mass away from Bell St*

Encouraged *design team to be mindful of impacts to neighborhood*

Believed the design *complements the immediate neighborhood, takes into consideration the adjoining historical buildings, and adds the opportunity for street level activity and activation for Bell Street Park*

Supported *positive impact of a one story podium*

Supported *multiple retail openings along Bell St*

Supported *at grade open space*

Board Guidance

Supportive *of one-story base and sensitivity to the streetscape and neighboring structures of Option 3: Preferred*

Additional studies that *consider the treatment of Bell St, the amenity space on the 2nd level that face Bell St, and the tower placement*

Provide an additional option that *respects the Bell St setback* and shifts some massing closer to the alley to *mitigate the bulk along 4th Ave*

Provide views from all sides

Continue to provide a design that will activate the street level along 4th Ave, Bell St and potentially the alley

Maintain the setback from the Fleming

Show comparisons of a viable Code Compliant tower

Provide an option with a second story Bell Street and locate the playground and amenity area to activate Bell Street

Needs Study

Tower Placement

Study relocating Kids Play area from Mid-block green connector to Bell Street.

Study Tower Placement on the one-story base.

Tower from a Distance

Study the tower from a distance.

Green Street Park

Ensure Green Street Park is enhanced.

Material

Further study how materials transition at the corner and to the tower above.

Departures

Provide clear guideline based rationale for each departure.

EDG 2 Massing Options

Option 1: Code Compliant



View from Space Needle

The code compliant Option #1 is heavily controlled by the zoning code, resulting in a wedding cake style building mass. The tower bulk is concentrated at the levels below 85', which dominates its immediate neighbors and is not in keeping with the character and scale of the neighborhood as a whole. The tower follows the Green Street setback along Bell Street and as a result aligns with the proposed Teamrise Tower across 4th Avenue.

Option 2: Study Request



View from Space Needle

Option 2 combines the 1-story base from Option 3 (which was supported by the Board in EDG #1), a 15 foot Green Street setback along Bell Street, and maintains a misalignment from the Teamrise Tower across 4th Avenue. The combination of the 1-story podium and Green Street setback on Bell Street create a weak retail corner on 4th and Bell, minimize the relationship to the Adams and Franklin, and don't honor the Adams and the Fleming apartments, reducing their access to light and air.

Option 3: Community Preferred



View from Space Needle

Option 3 presented at EDG #2 was the result of significant and early discussions with Belltown residents, community groups and organizations. Input from the Belltown neighborhood drove the selection of our priority guidelines, and is reflected in the overall proposal as well as the details.

The one story podium, voluntary lower level setbacks, and the Mid-Block Green Connector respect and reveal the historic architecture of the Adams, Fleming, and the overall diversity of building scale in Belltown. Particular when taken as a whole, these offerings shift the building mass away from the pedestrian realm to the tower levels, increase access to light and air, promote a vibrant pedestrian experience and help support the Belltown Alley Program.

The articulation of the lower levels of the tower and the substantial vertical tower articulation respond to the neighborhood at the different scales from which they are experienced. At the pedestrian scale the one story podium nurtures the established street life and also creates formal relationships with the adjacent neighboring buildings, while when experienced from a distance the vertical alleys carve away at the tower creating the perception of a series of slender towers populating the skyline.

EDG 2 Summary

Public Comment

Concern about **granting departures** which are inconsistent with intent of code

Support Family Friendly Units

Support activation of the alley with **light**, at the **chamfered corner** through the **pedestrian connector**, and through **space for art**.

Support setbacks from adjacent historic buildings by Preferred Option

Support engagement of design team with community

Support **positive impact the Preferred Option’s setbacks on 1st, 2nd, and 3rd stories have on Green Street** as opposed to at 65’

Concern over “wedding-cake”-style massing of Option 1

Encouraged a slimmer tower responding to iconic form of narrow towers

Explore a 3-4 Story Podium to **respect context of the existing buildings**

Board Guidance

Consider tower location in response to Bell Street Green Street, as well as adjacent buildings

Explore location of amenity belt

Respond to the **Bell Street Green Street Setback**

Support a **3.5-4 Story Podium** to match height of The Adams, The Fleming and the Franklin

Provide a design that holds the corner of 4th Ave and Bell Street

Design a **“friendly” play area on Bell Street**

Activate the alley

Maintain **connection to alley** at north property line

Provide a design with **lesser width on 4th Ave**

How We’ve Responded and Where We are Going

1. We are excited about all three massing options present in our EDG #3 packet, and look forward to receiving guidance on whichever option the board would like us to move forward with.
2. We Support the Community Preferred Option and have blended what the greater Belltown neighborhood has asked for (not just the adjacent neighbors) and the board’s guidance at EDG2.

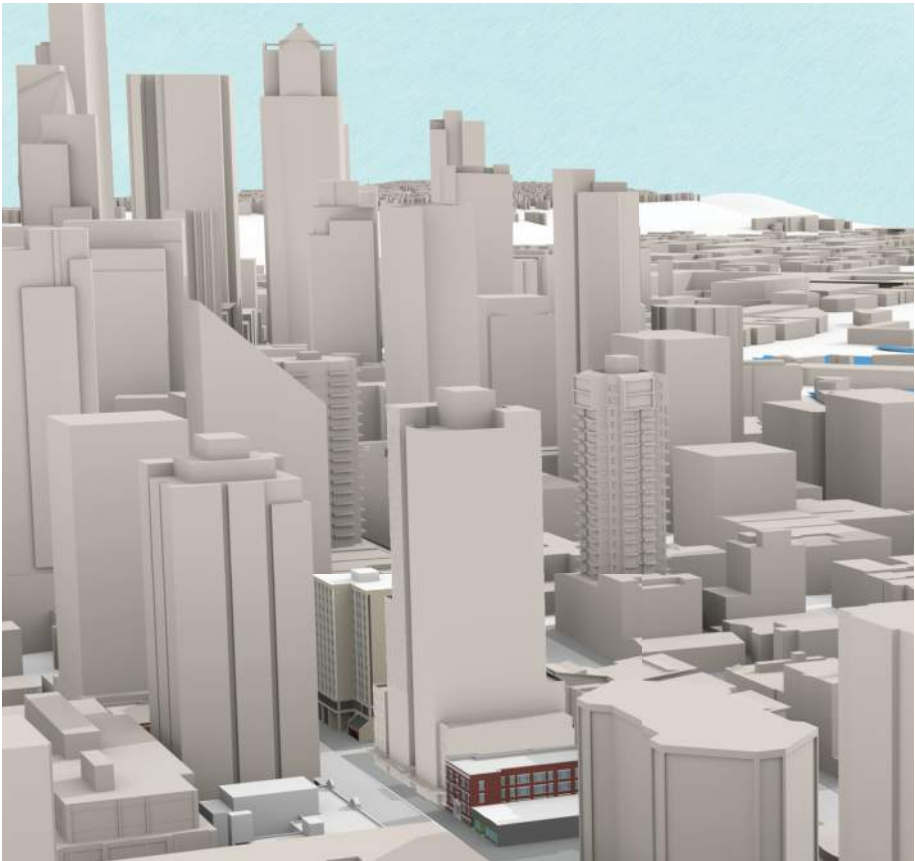
A FUNCTIONAL CODE COMPLIANT OPTION with amenity space on Bell, an active retail level, upper- level Green Street setbacks, and a strong corner that maximizes housing potential.

A STUDY REQUEST ALTERNATIVE OPTION with a varied 4 story base, amenity space on Bell, an active retail level, a strong corner and a 44’ story Green Street setback starting at 41’ above the sidewalk.

A MODIFIED COMMUNITY PREFERRED OPTION that gives a partial Green Street Setback at upper levels, while keeping pedestrian-scale setbacks on Bell, the strong corner on Bell and 4th Ave, as well as the public space at the north of the property, providing light and air to the Fleming and creating a Mid-Block Green Connector.

EDG 3 Massing Options

Option 1: Code Compliant



View from Space Needle

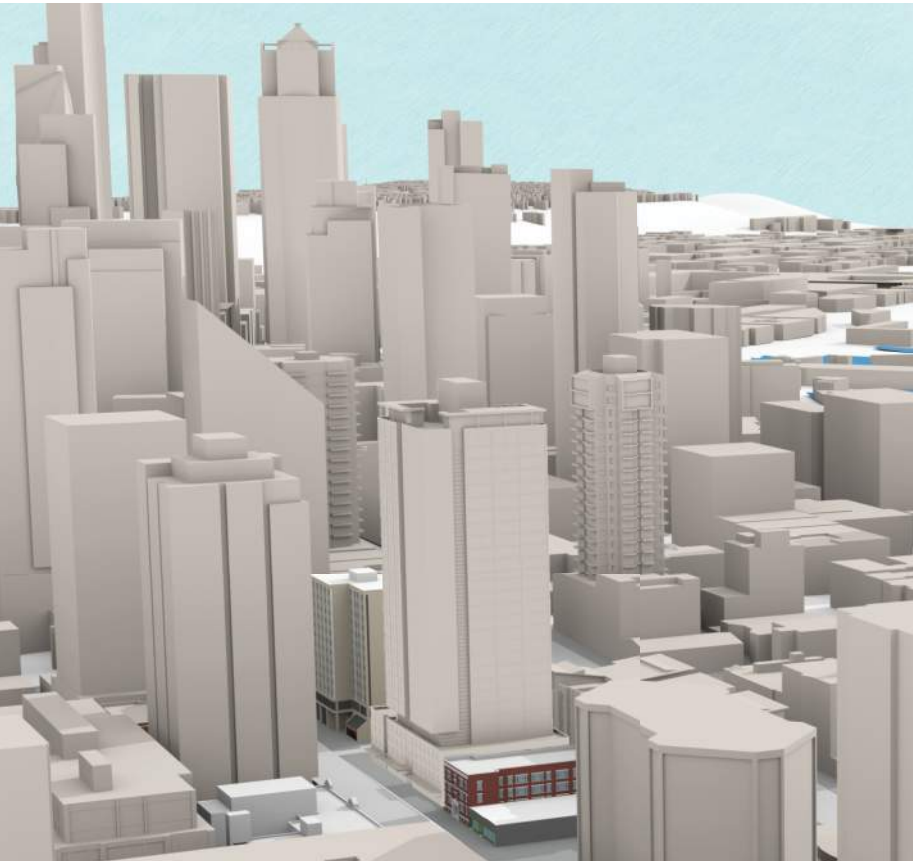
Opportunities

- 6-story base
- 2 levels above-grade parking/2 levels below-grade parking
- Minimizes housing close to noisy street level
- Upper-level Green Street Setbacks starting at 65'
- Active street-level retail
- Kid-friendly play area on Bell Street on Level 6
- Strong corner that maximizes housing potential
- No departures

Constraints

- Dominates adjacent structures, with significant impact on light, air and privacy.
- Zoning-prescribed wedding-cake structure is inflexible architecturally, prone to water intrusion and inefficient for a residential building.
- Large floor plates create deep, dark units.
- Parking above-grade is less desirable architecturally and for the community.
- Zoning-encouraged 65' podium does not respond meaningfully to existing 42' adjacent brick buildings.
- Creates duplicate drive ramps.

Option 2: Study Request



View from Space Needle

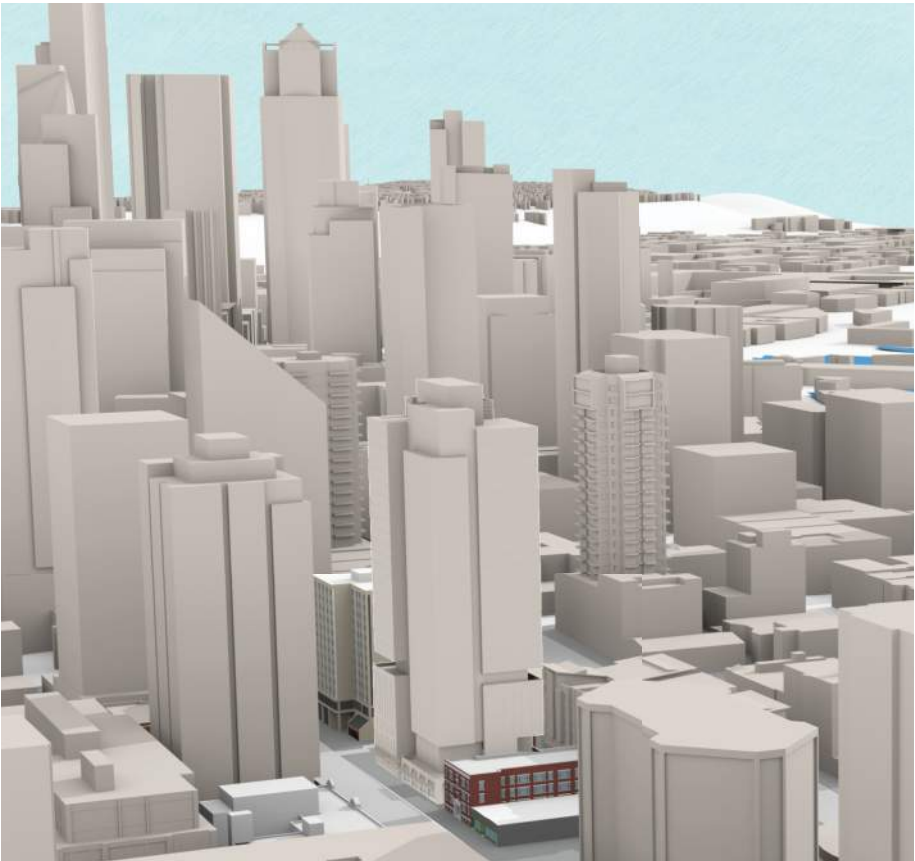
Opportunities

- 4-story base
- 2 levels above-grade parking/2 levels below-grade parking
- 44' Green Street Setback starting at 41' above the sidewalk with a 7' departure at the top 3 levels
- Active street-level retail
- Amenity Belt located on Bell Street on the 5th floor
- Kid-friendly play area on Bell Street on the 4th floor
- A strong corner that mimics the form of the existing neighborhood context

Constraints

- Requires departures
- 4-story base blocks light and air to neighboring buildings its form is honoring
- Creates duplicate drive ramps
- Amenity space is raised 41' above Green Street, limiting their relationships
- Amenity space on corner of Bell Street and alley necessitates a 3 story stair, instead of an active area for retail spill-out

Option 3: Community Preferred



View from Space Needle

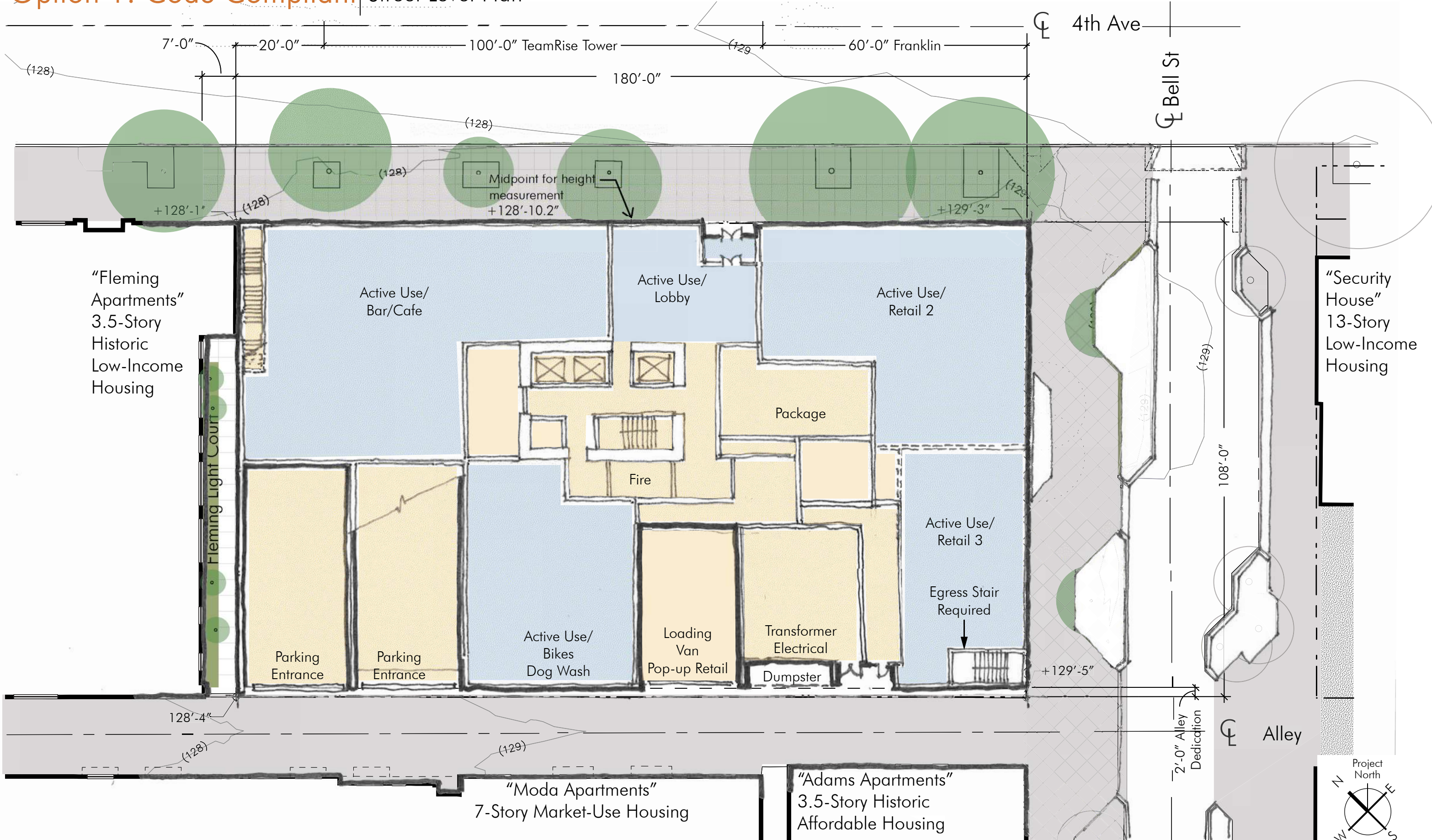
Opportunities

- 1-story base
- All parking underground
- A partial Green Street Setback at upper levels, with pedestrian-scaled setbacks beginning at street-level, creating public space "notches"
- An active retail level with a setback at the alley for corner retail
- Amenity Belt creates a well-modulated, proportionate building
- Strong corner on Bell St and 4th Ave
- Setbacks along north property line from existing Fleming Apartments create an actively managed through-block connection for cafe spill out space from the alley to 4th Avenue
- Maximum setback from the Fleming, Adams and Moda provide light, air and privacy
- Erosion of the tower top helps define the skyline and respond to the topography of Belltown

Constraints

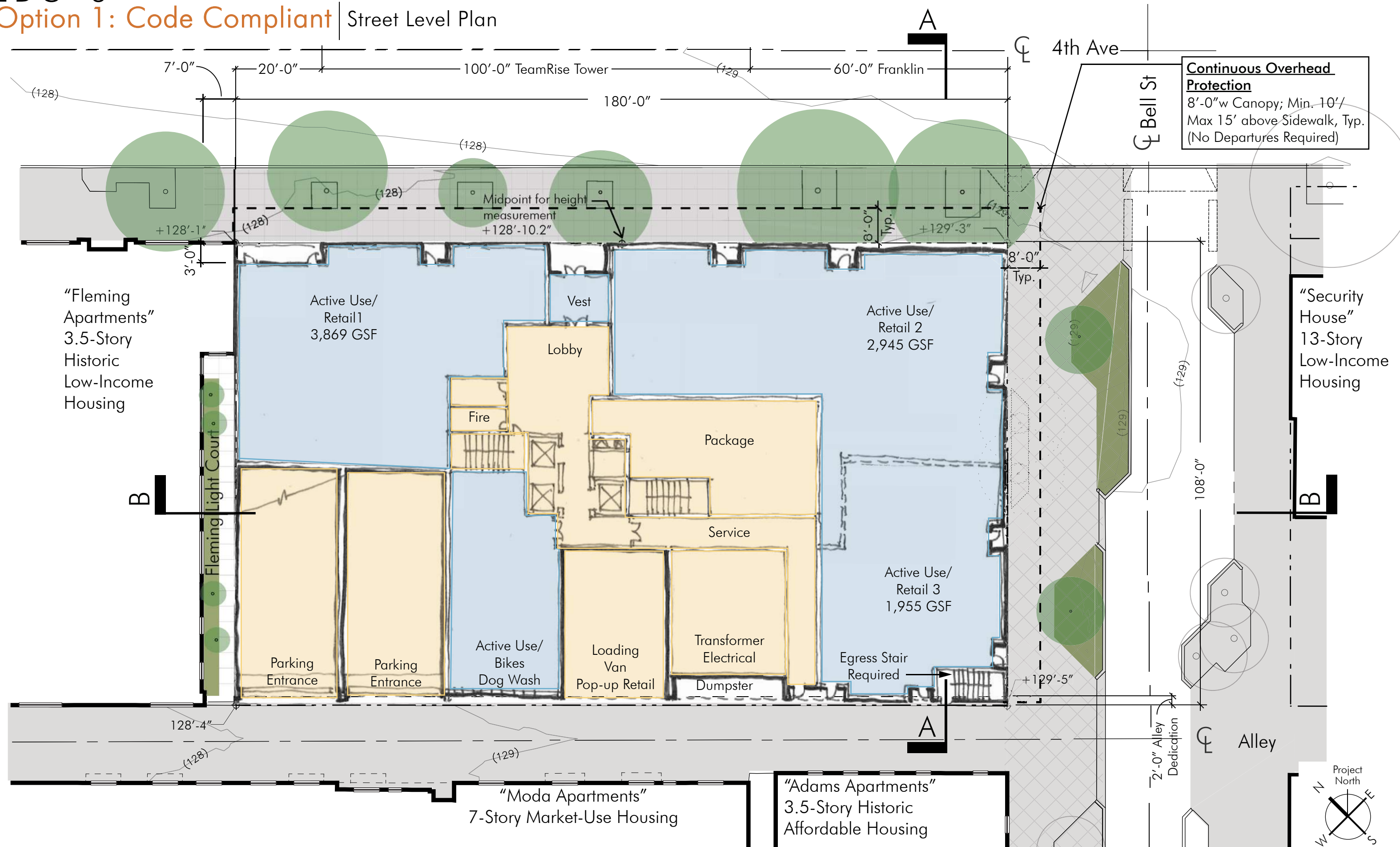
- Requires departures
- Replaces a Green Street setback above 65' in favor of setbacks below the 4th floor and ones that are respectful of the Fleming and Adams architecture and residents.

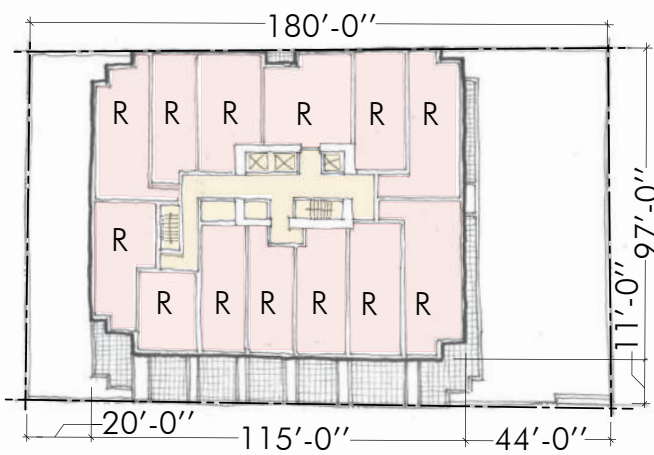
EDG 2
Option 1: Code Compliant | Street Level Plan



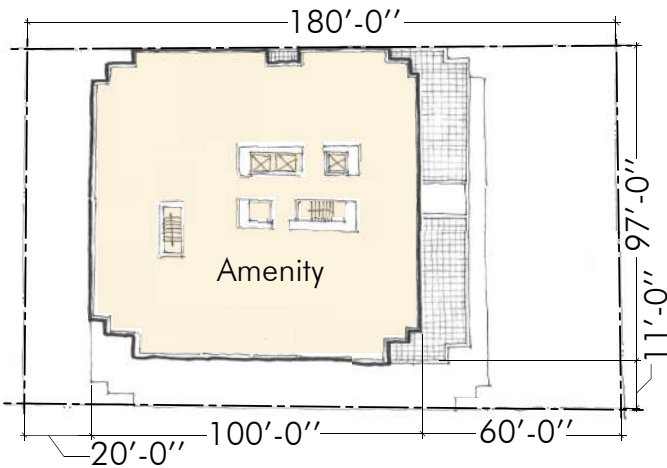
EDG 3

Option 1: Code Compliant | Street Level Plan

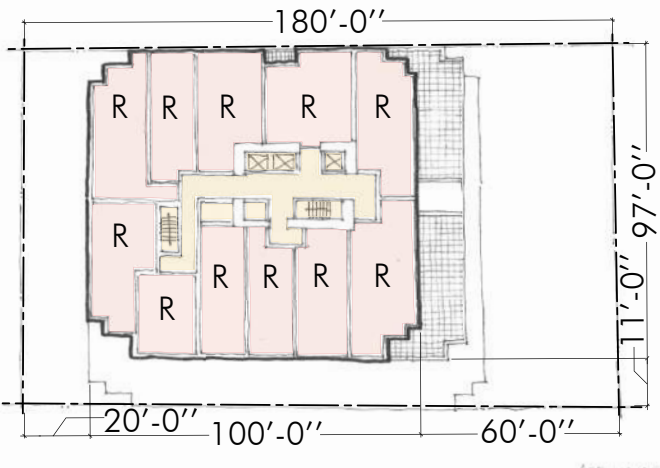




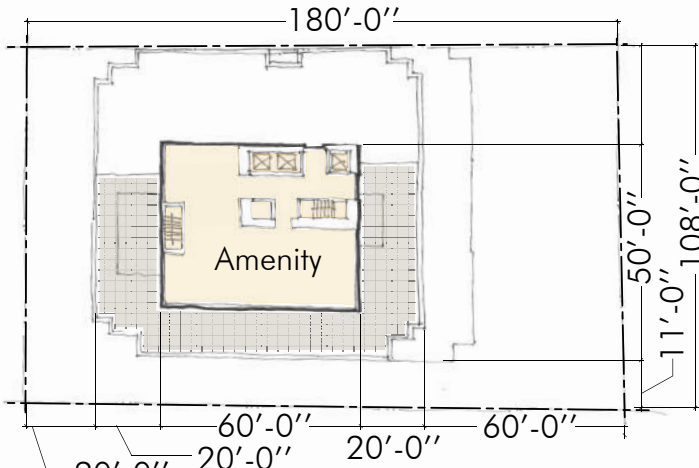
Tower Plan
L9-14



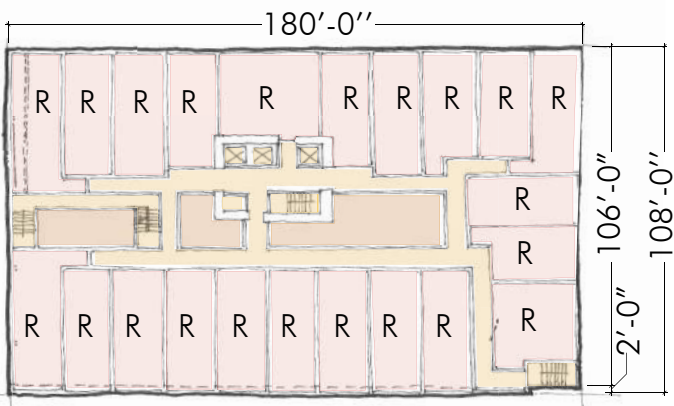
Amenity
L15



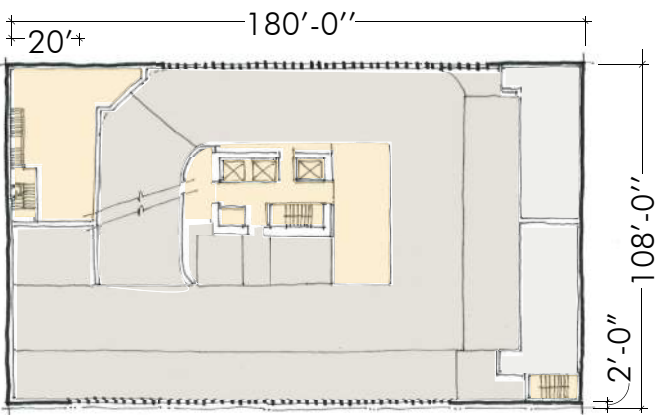
Typical Tower Plan
L16-29



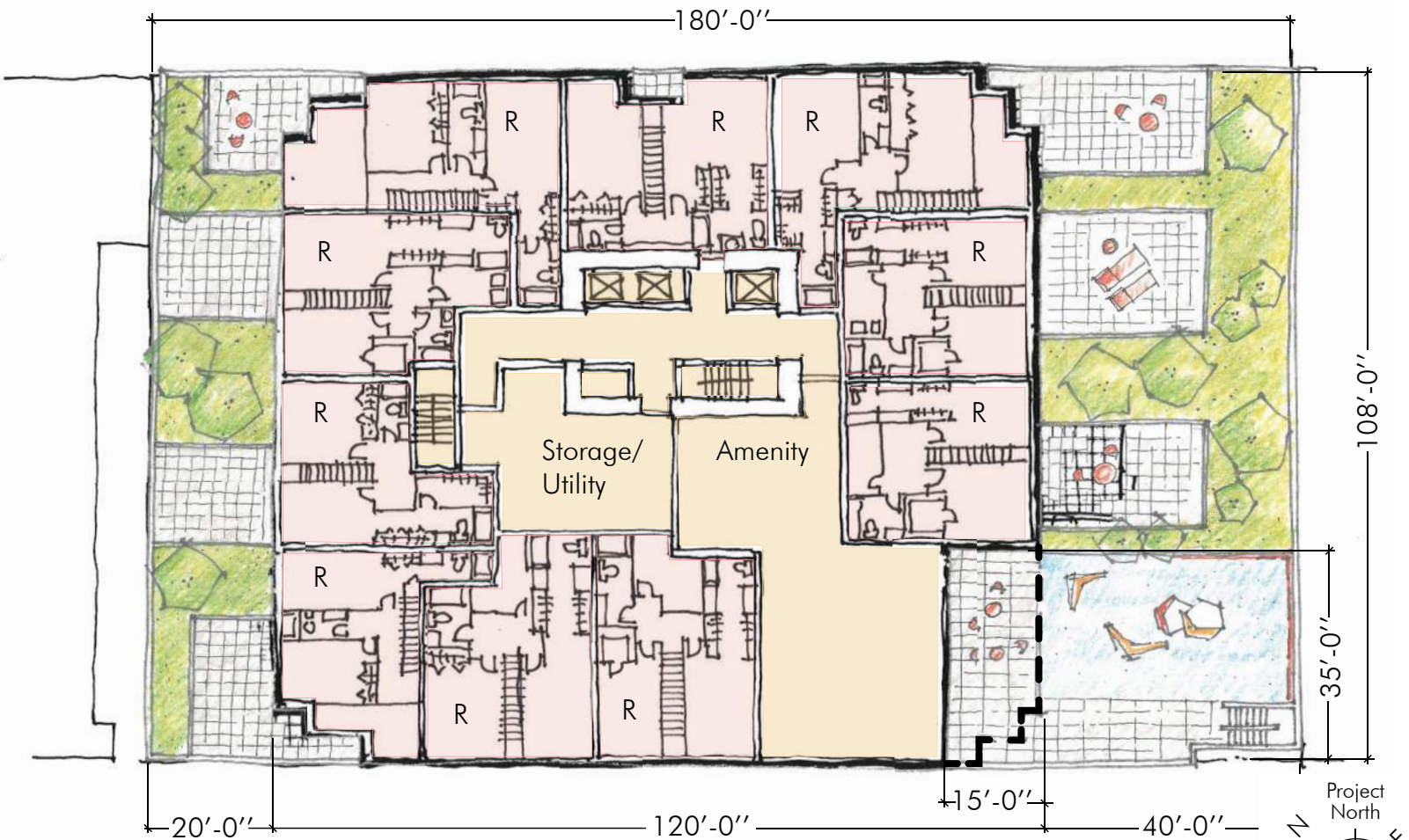
Rooftop Amenity
L30



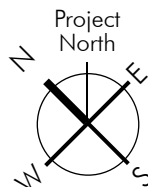
Typical Podium Plan
L4-L6



Above Grade Parking Plan
L2(L3 Sim)

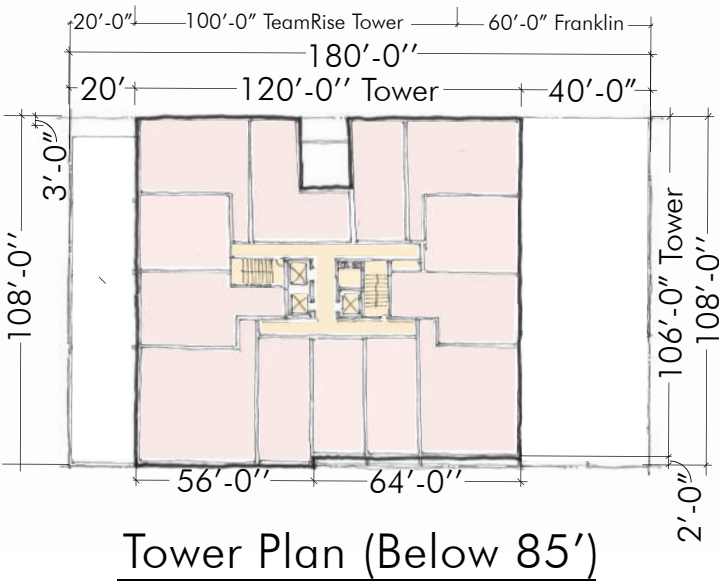


Family Friendly Townhome Plan
L7 (L8 Similar)

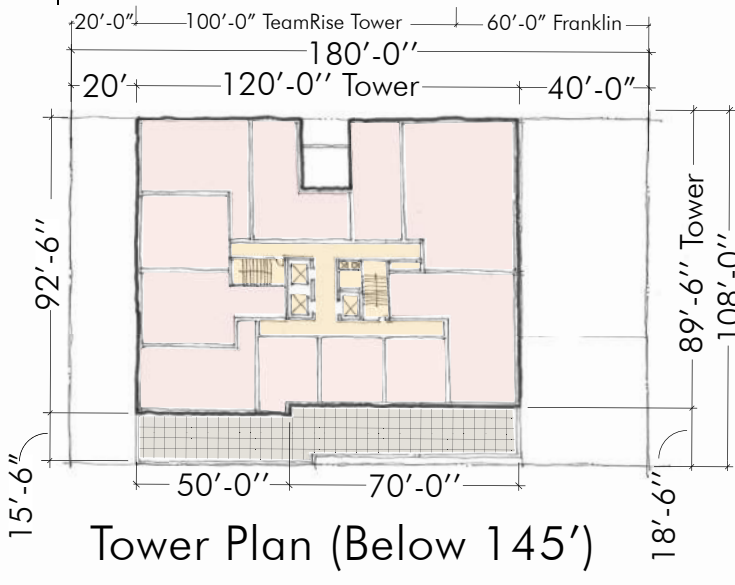


EDG 3
Option 1: Code Compliant

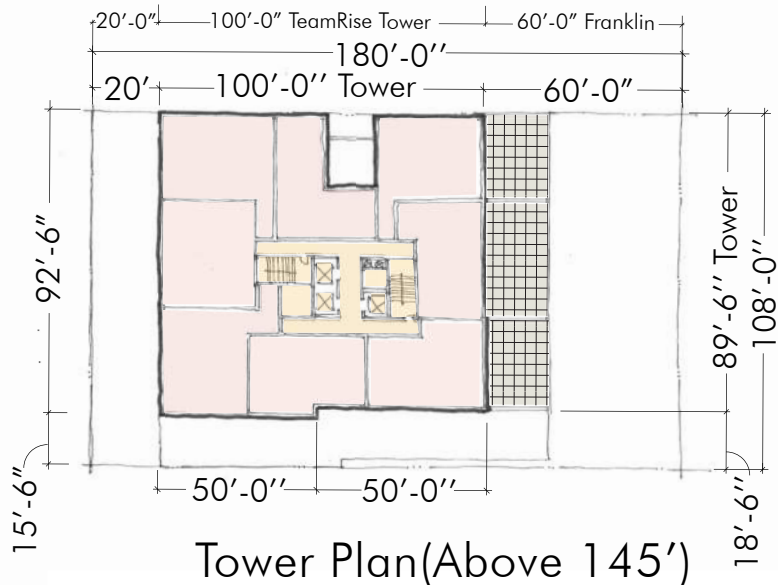
Floor Plans L2-L30



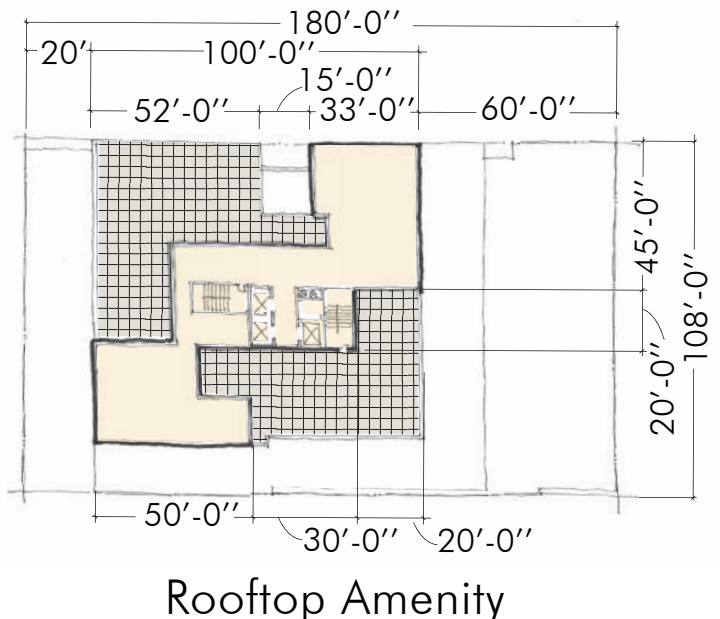
L8



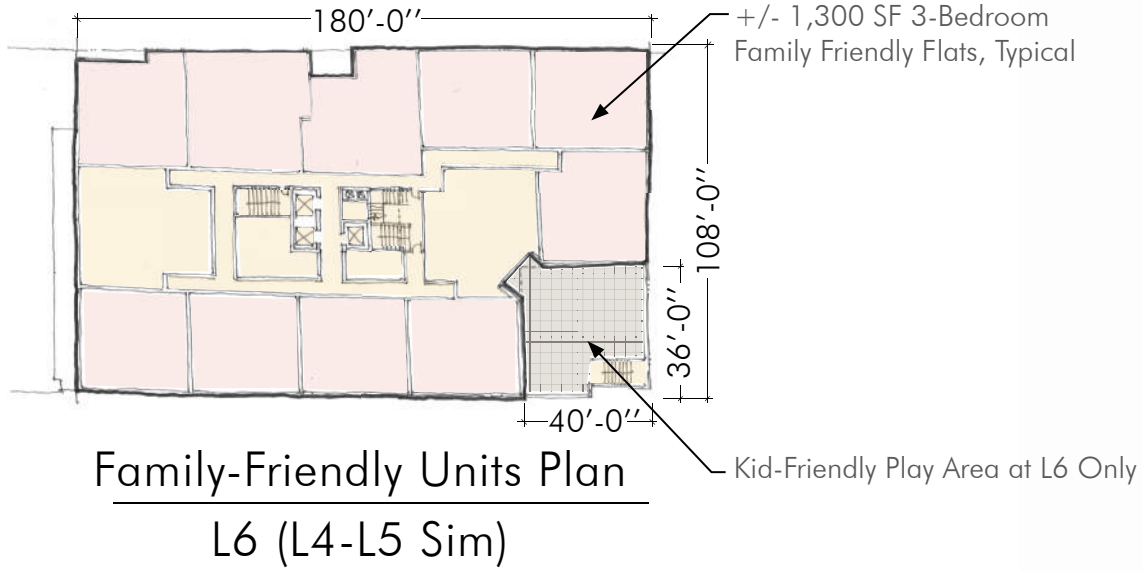
L9-14



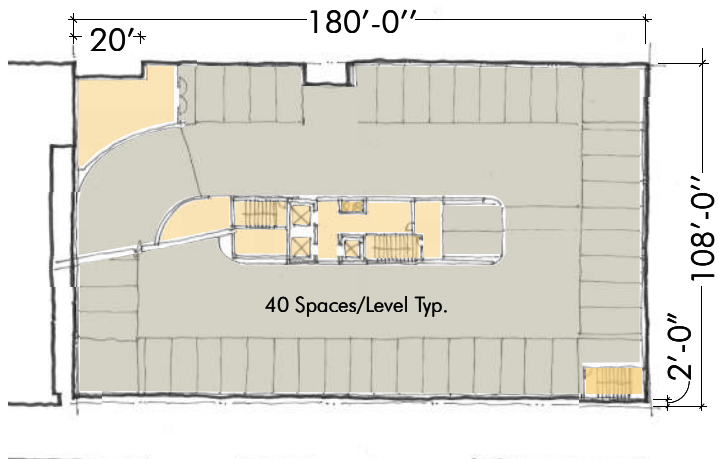
L15-29



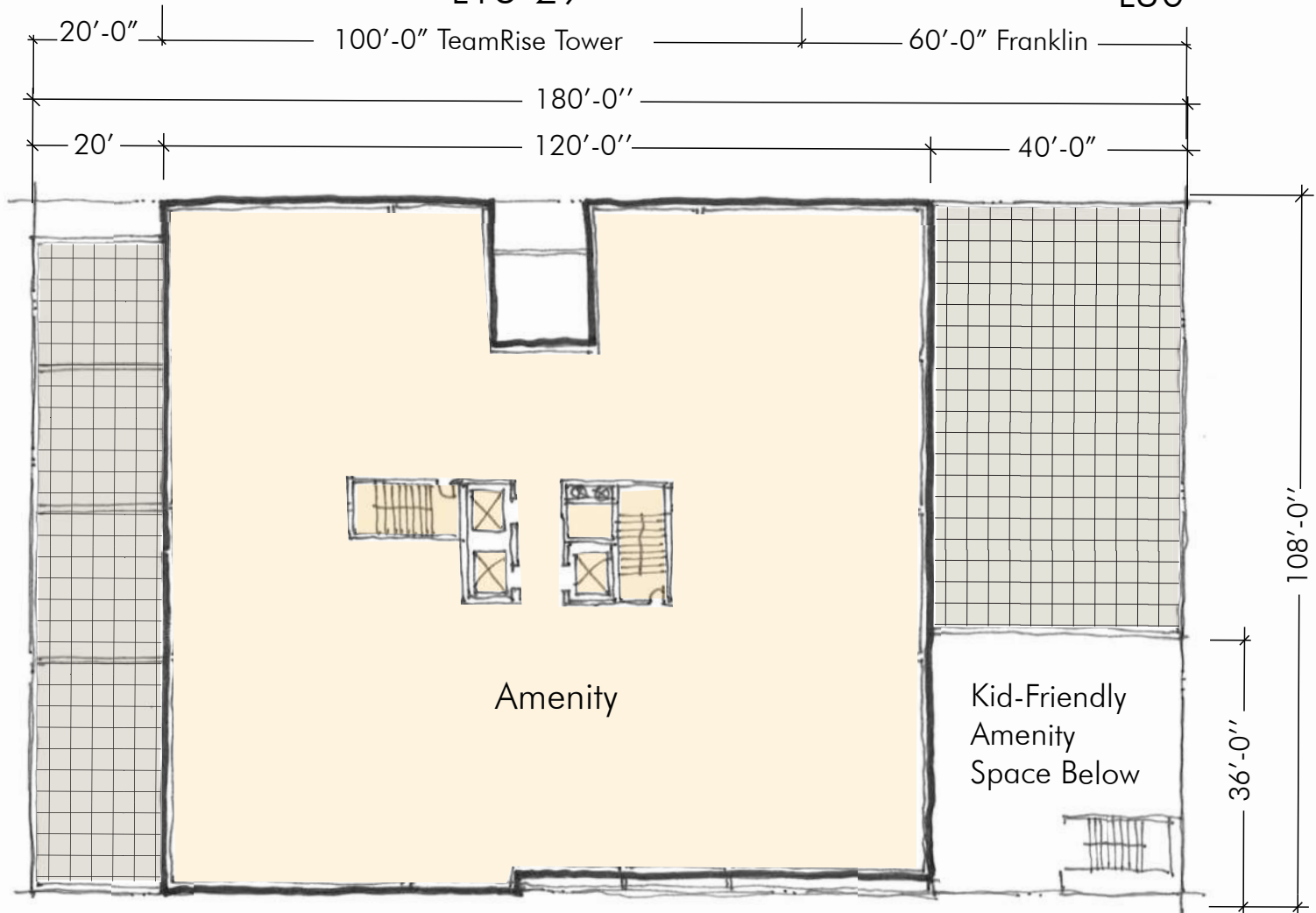
L30



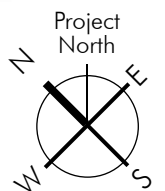
L6 (L4-L5 Sim)



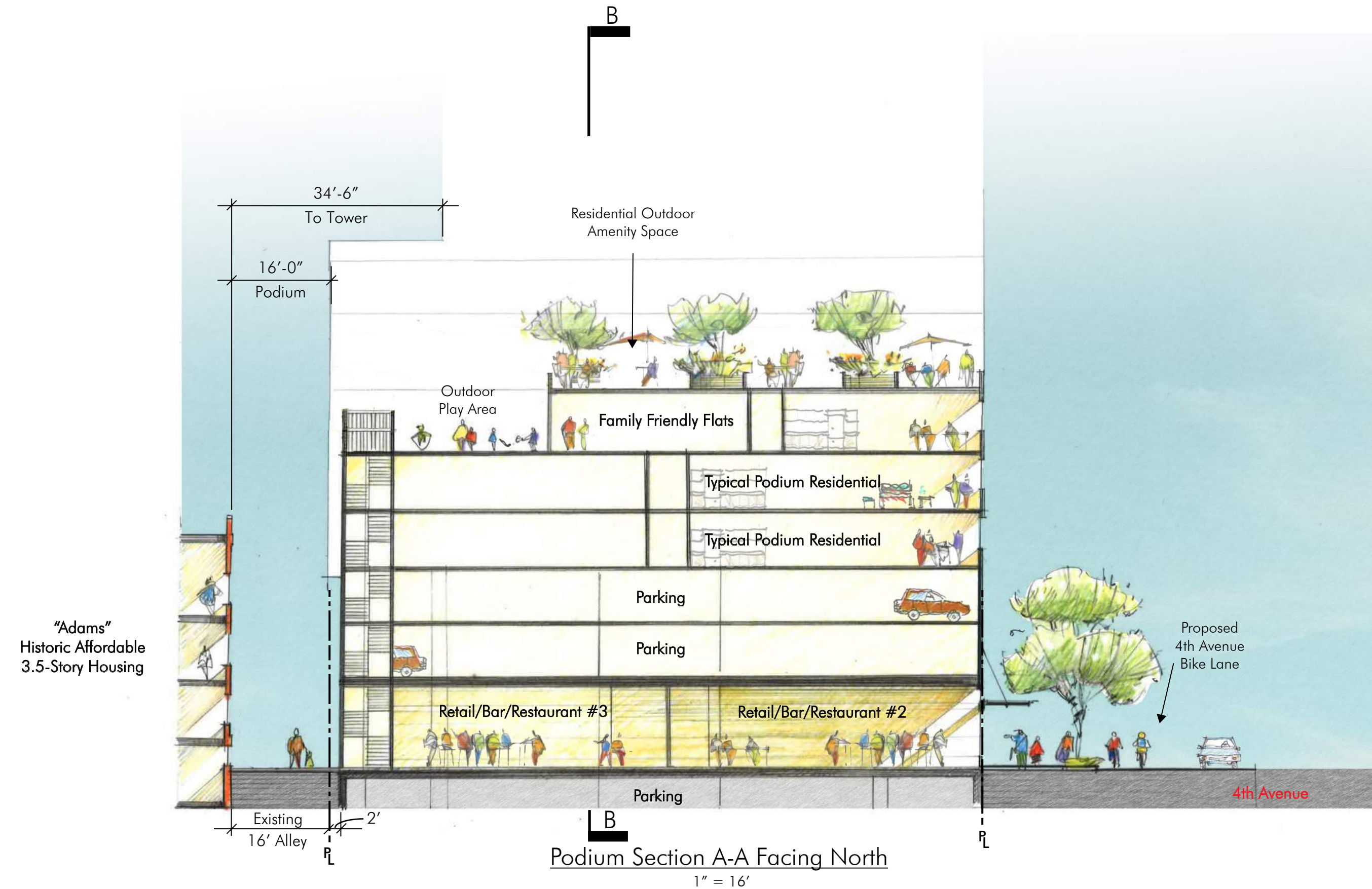
L2 (L3 Sim)



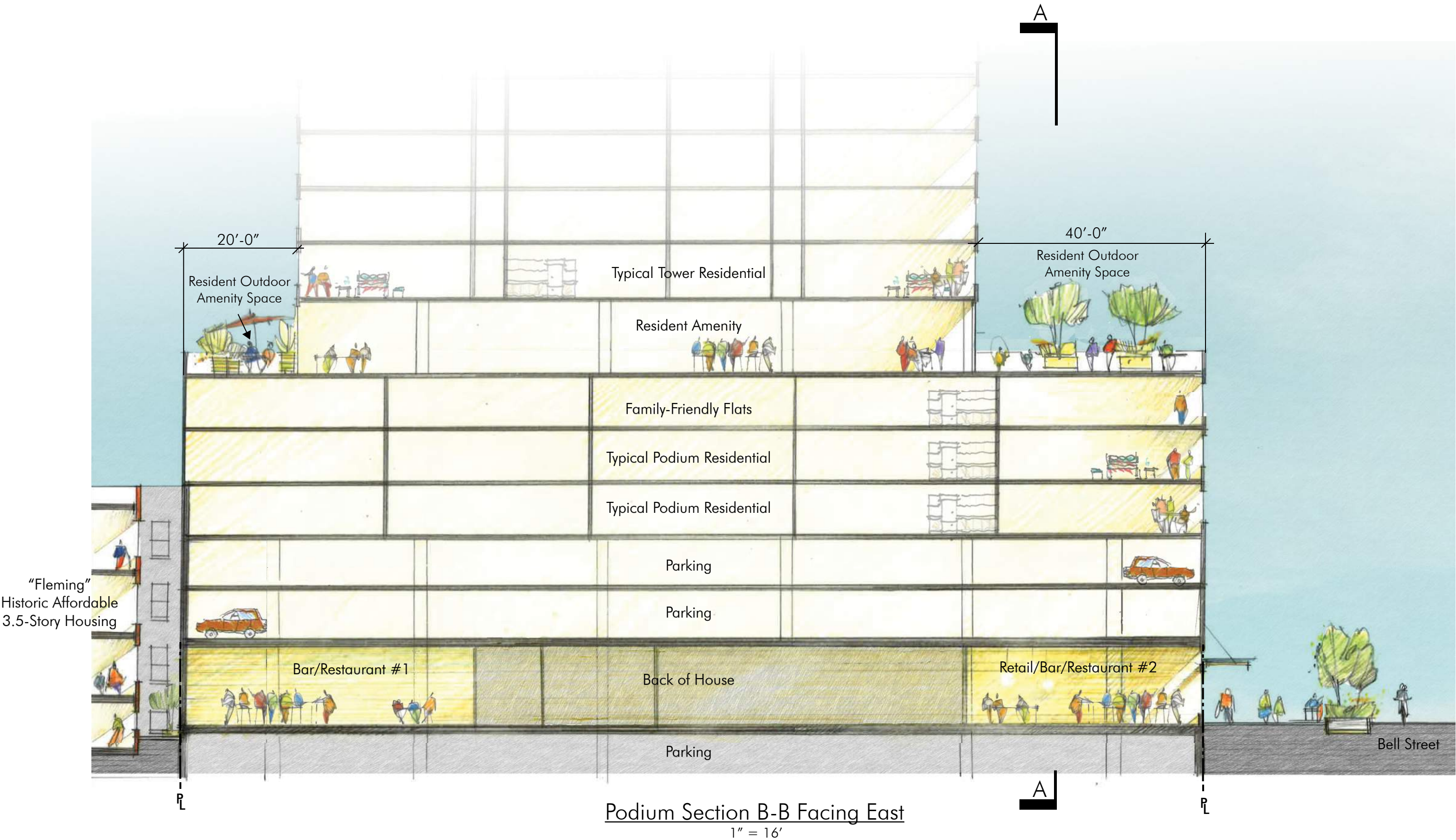
L7

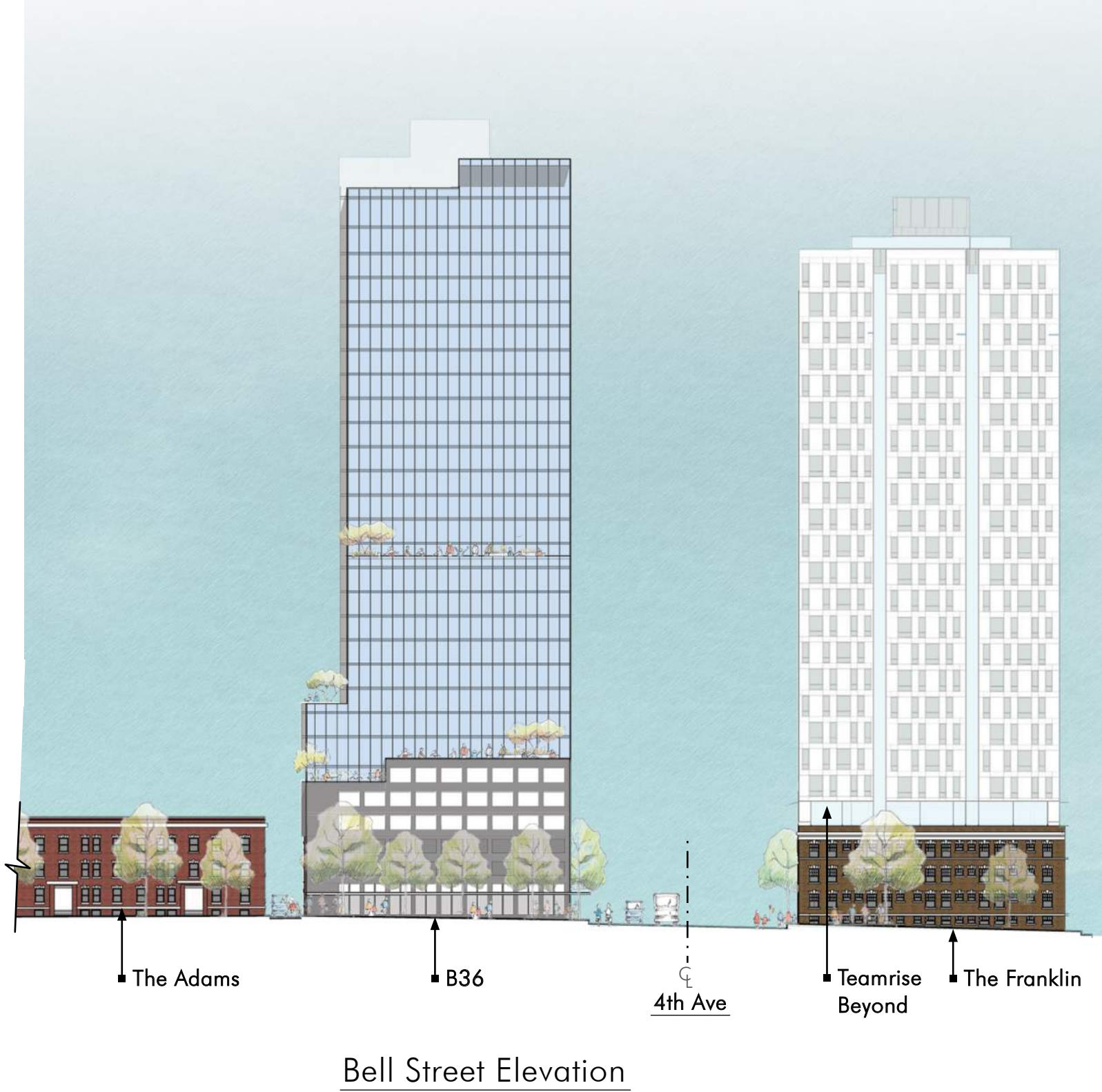


Option 1: Code Compliant | Podium Section Facing North



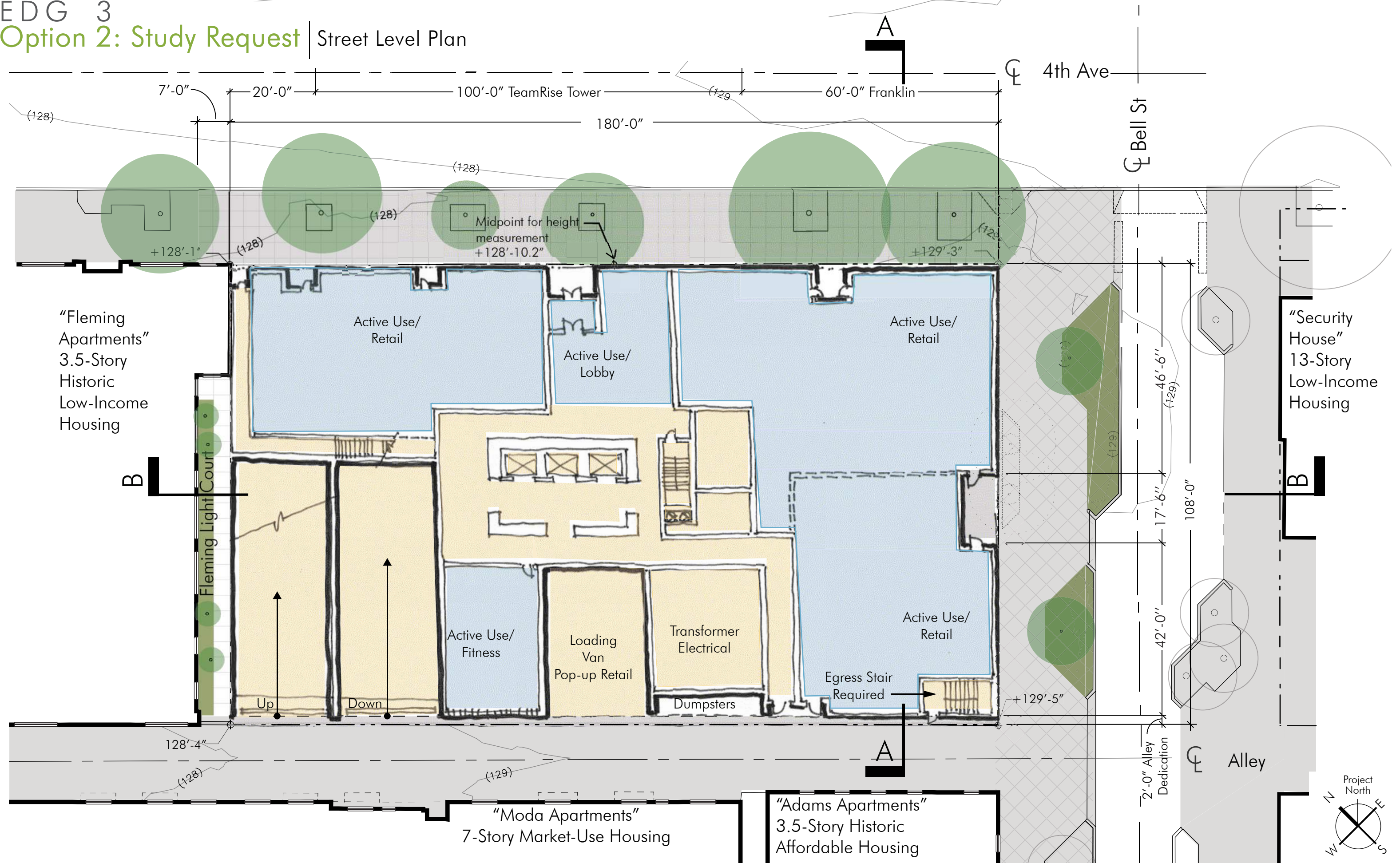
Option 1: Code Compliant | Podium Section Facing East

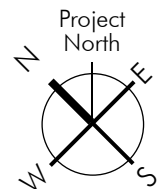
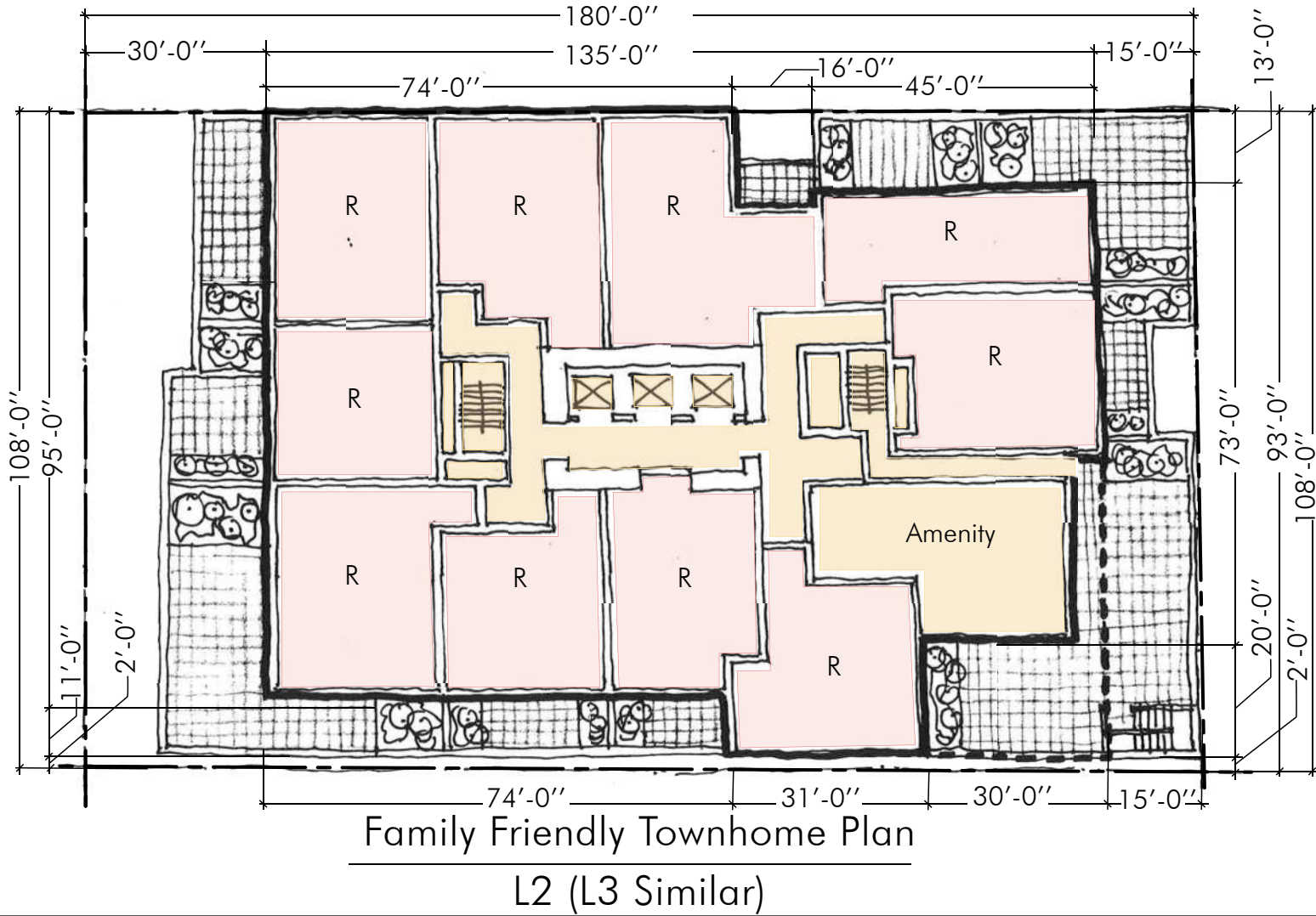
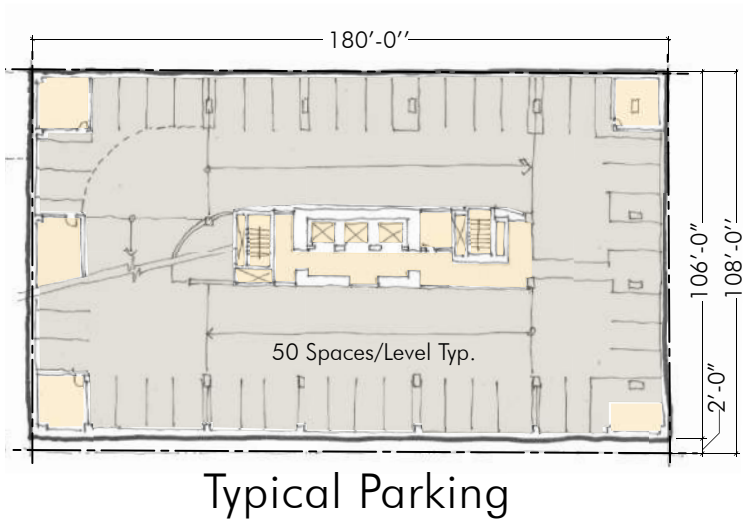
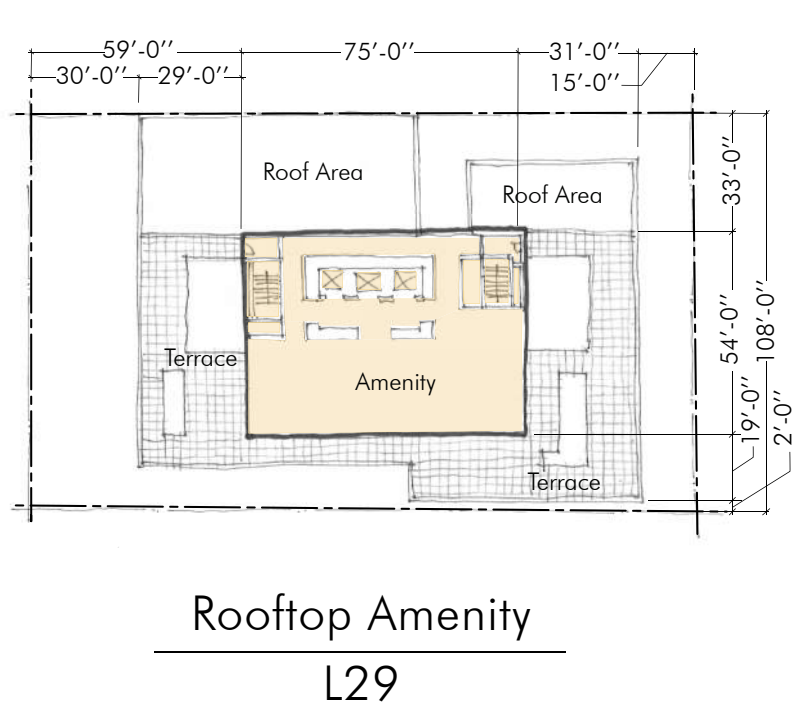
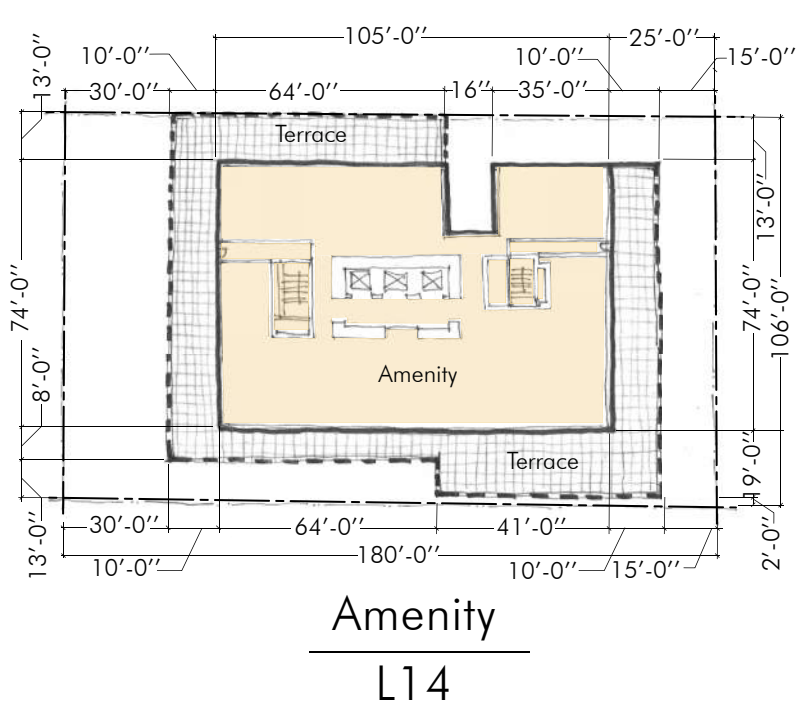
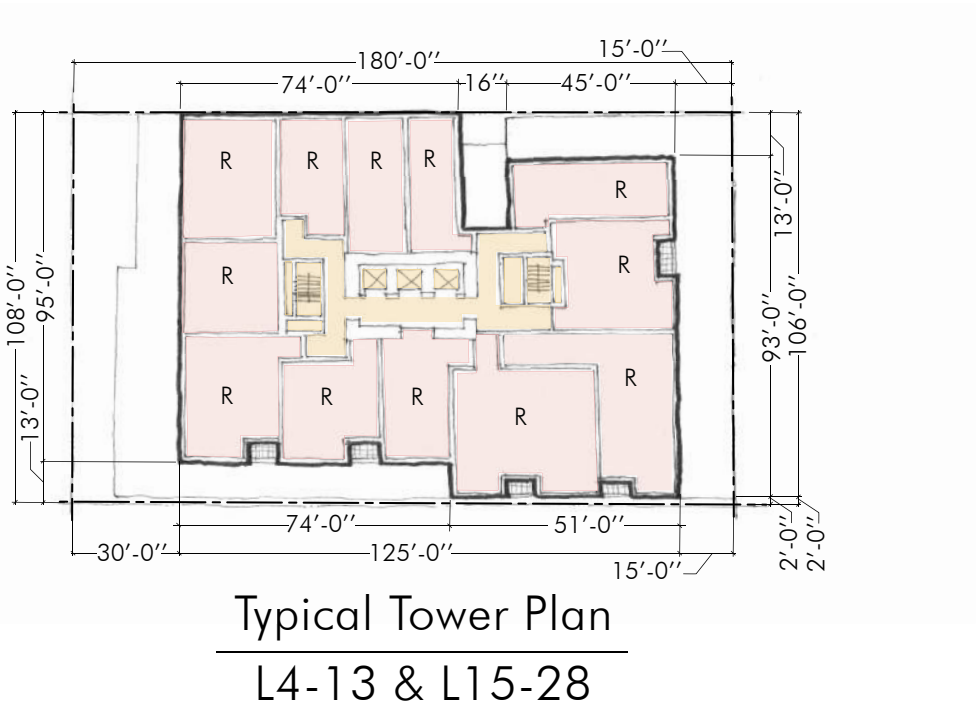


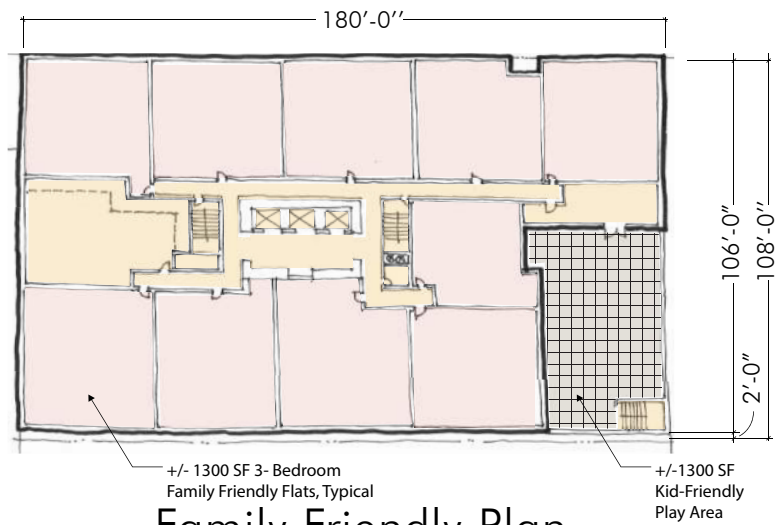


OPTION 2: STUDY REQUEST

EDG 3 Option 2: Study Request | Street Level Plan

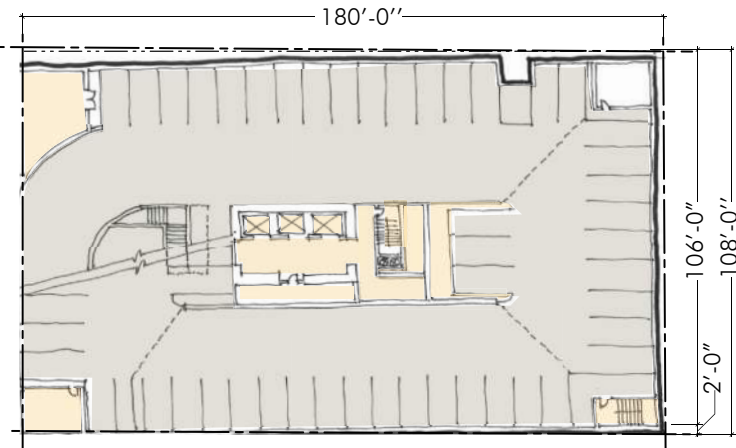






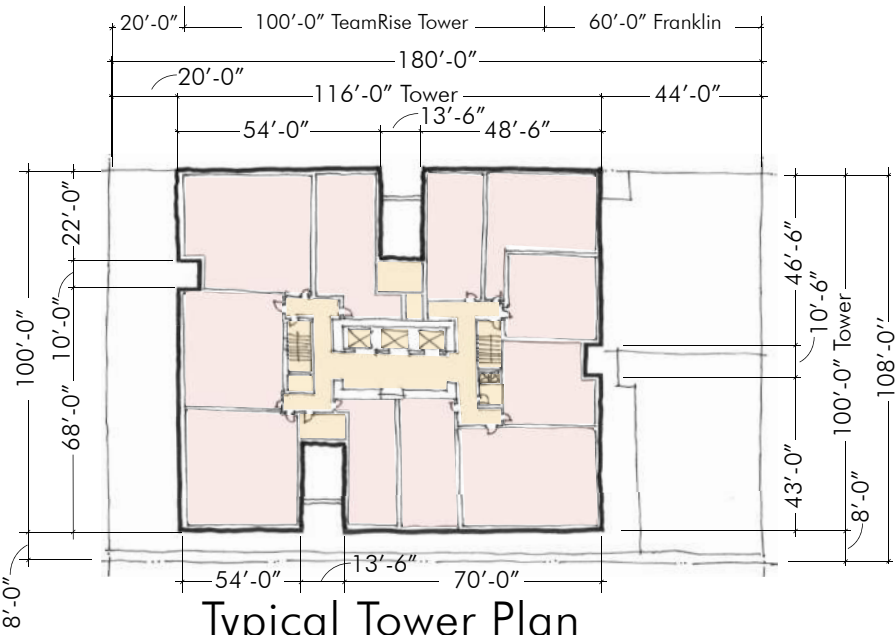
Family Friendly Plan

L4



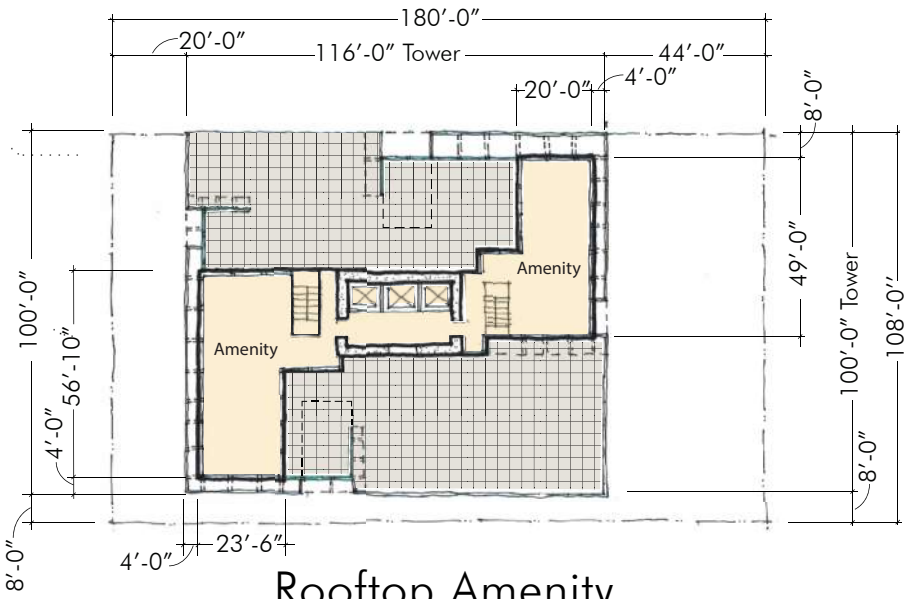
Above Grade Parking Plan

L2 (L3 Sim)



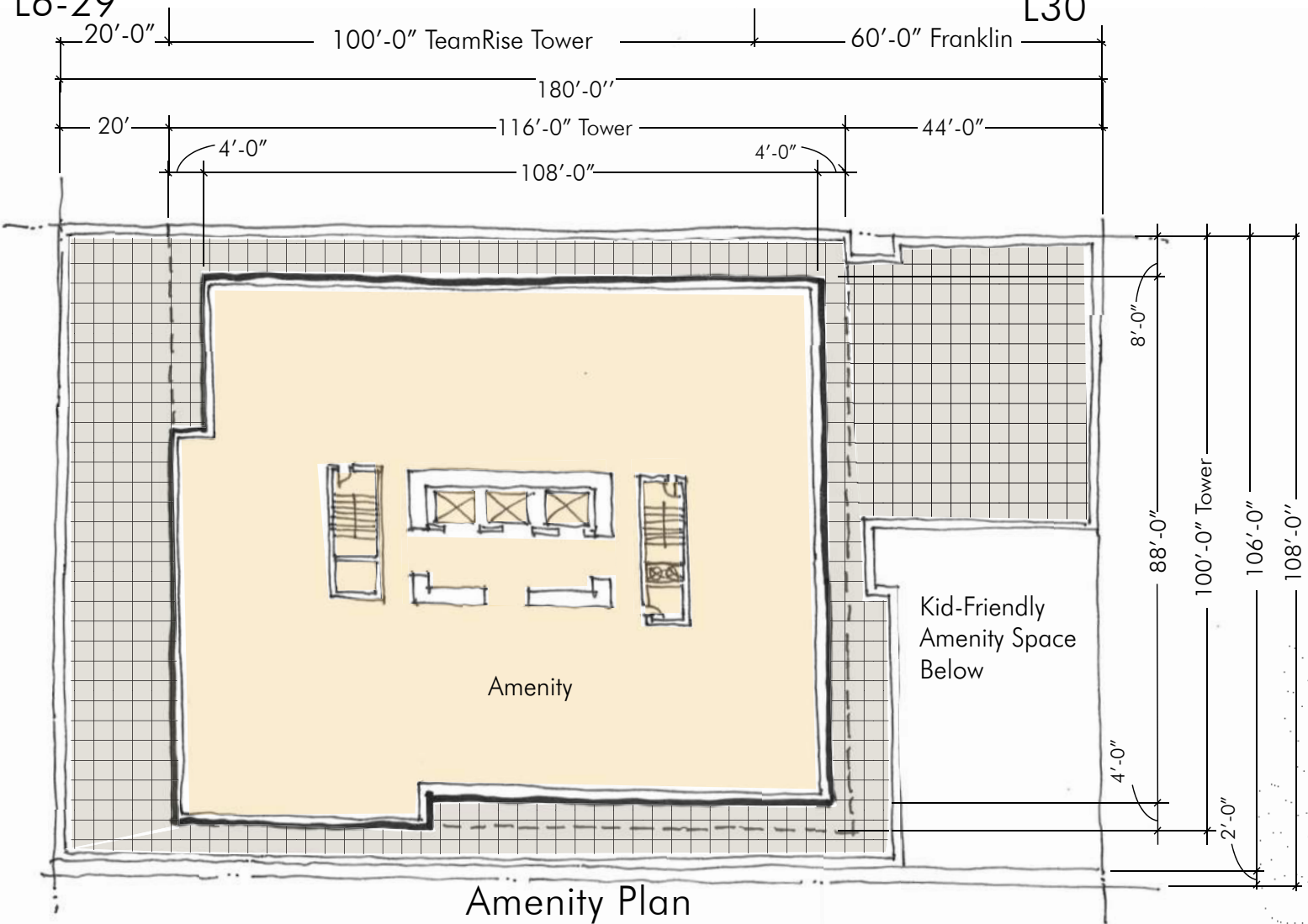
Typical Tower Plan

L6-29



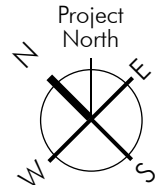
Rooftop Amenity

L30

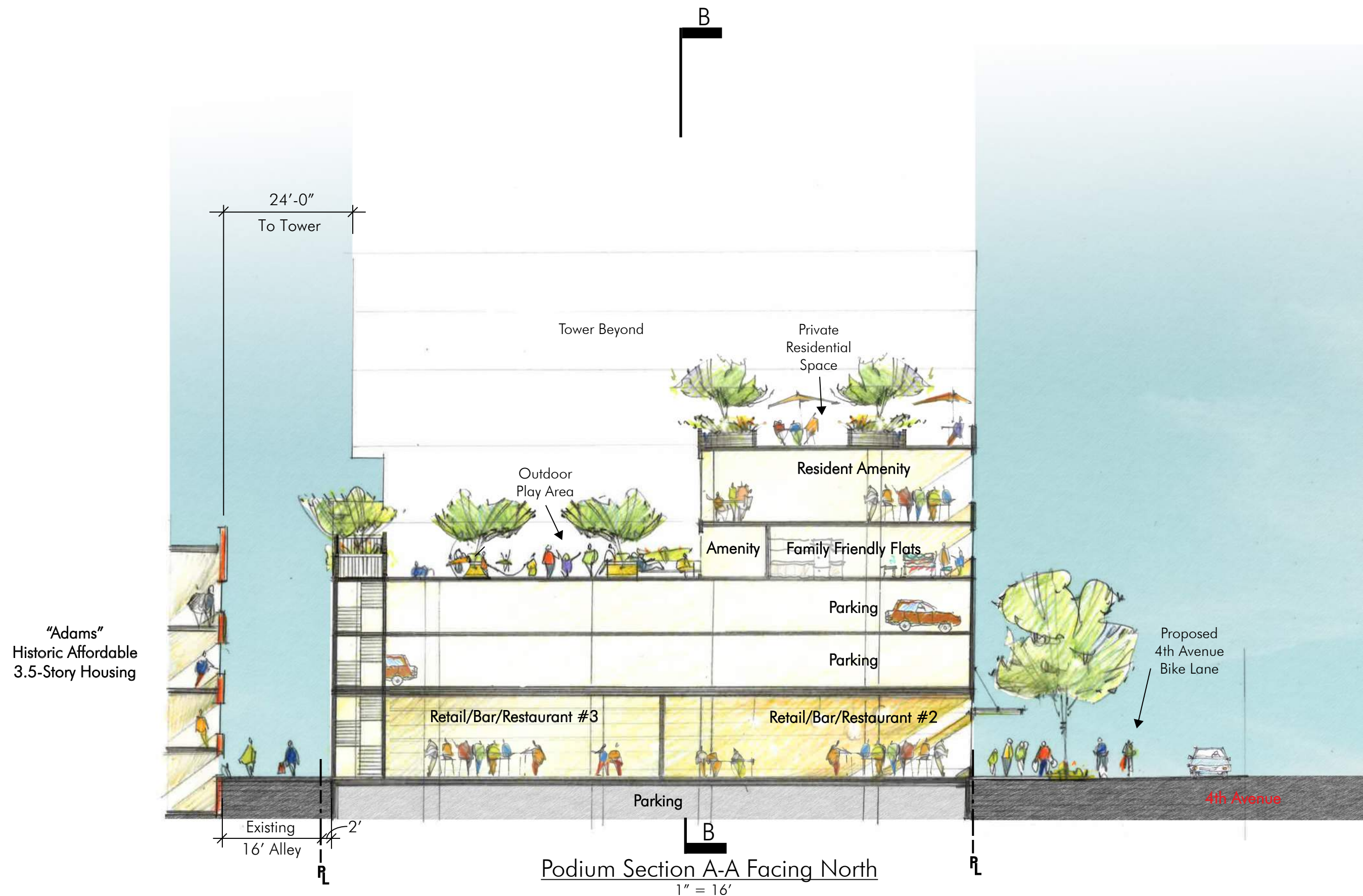


Amenity Plan

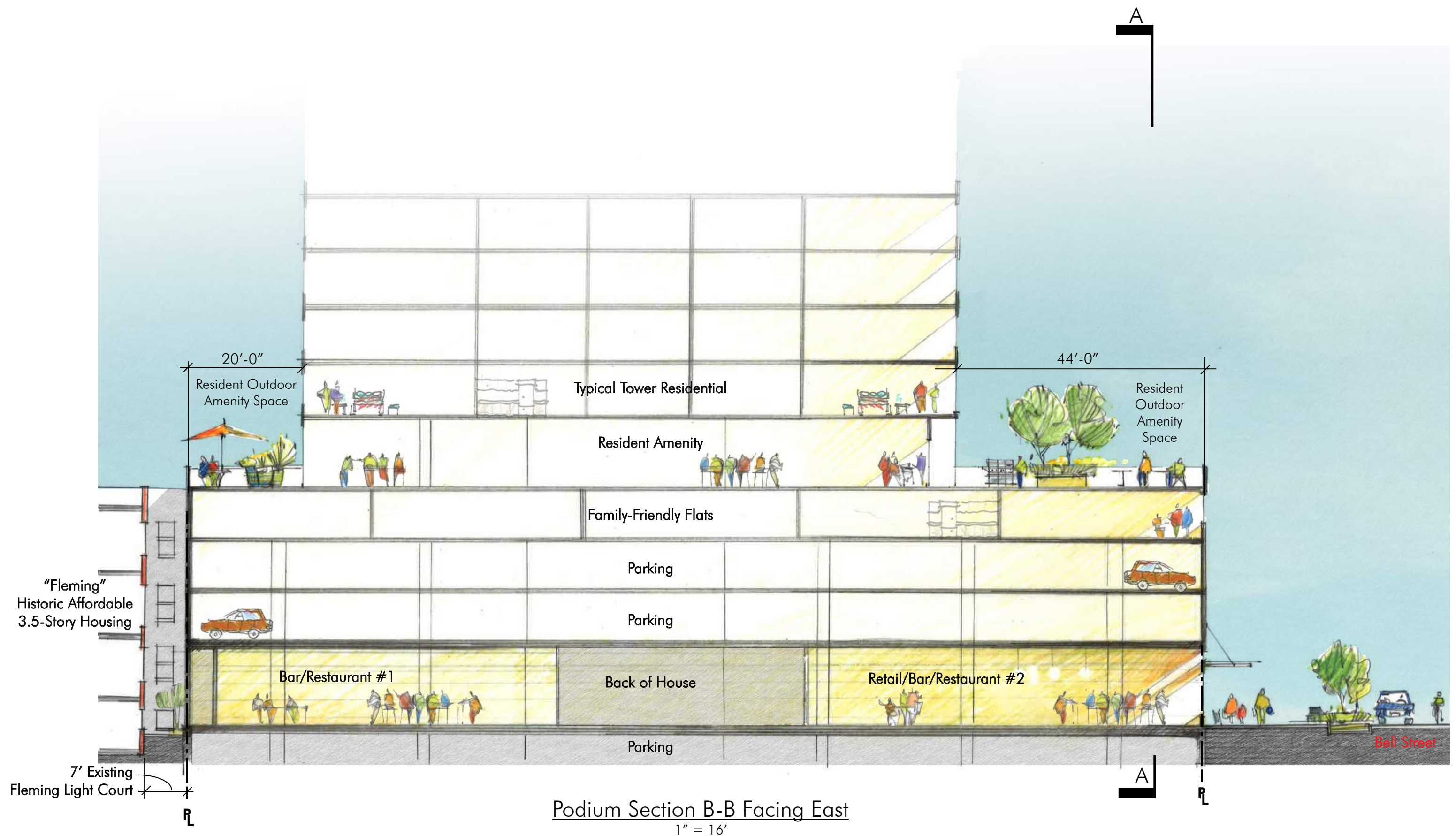
L5

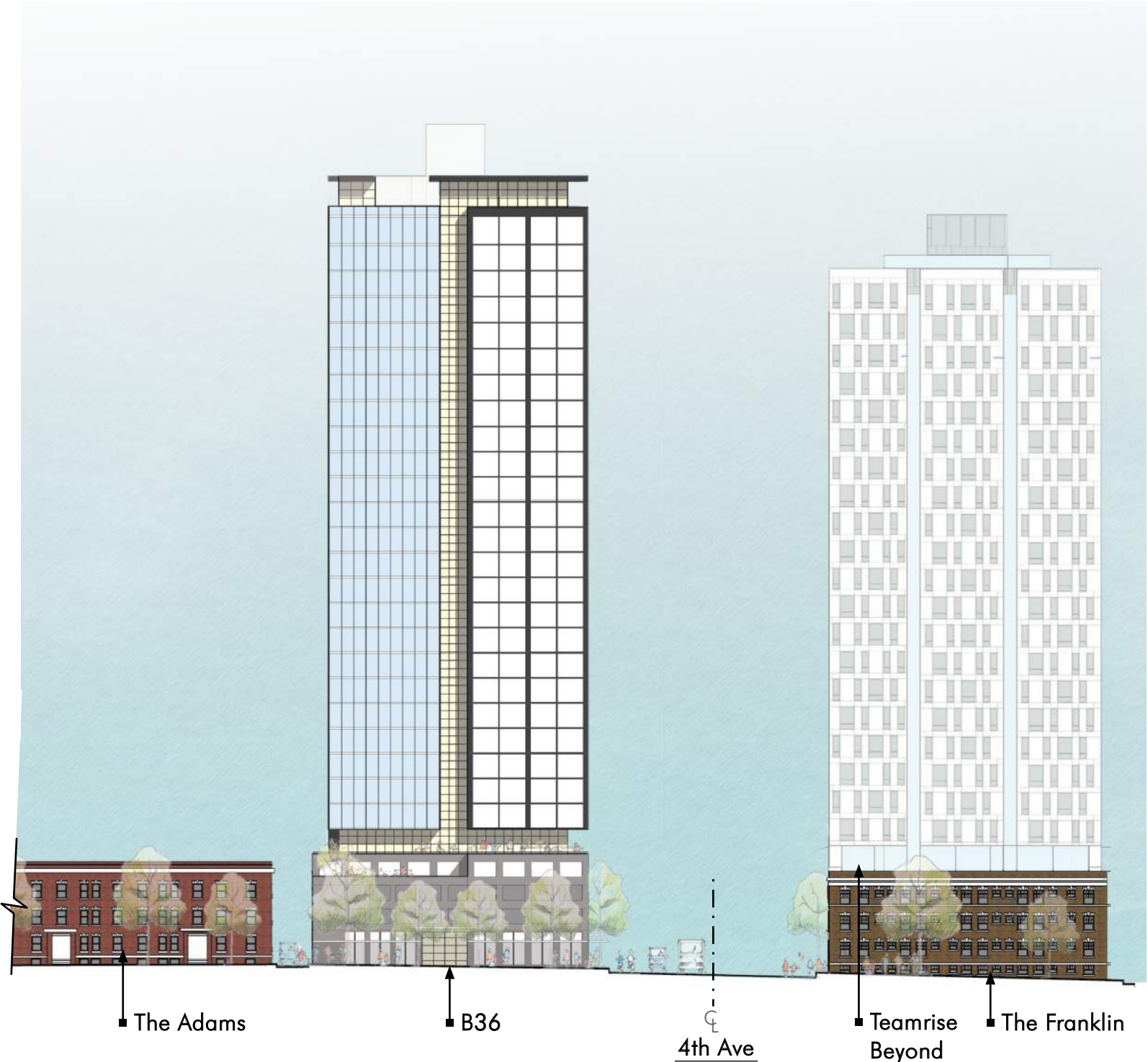


Option 2: Study Request | Podium Section Facing North

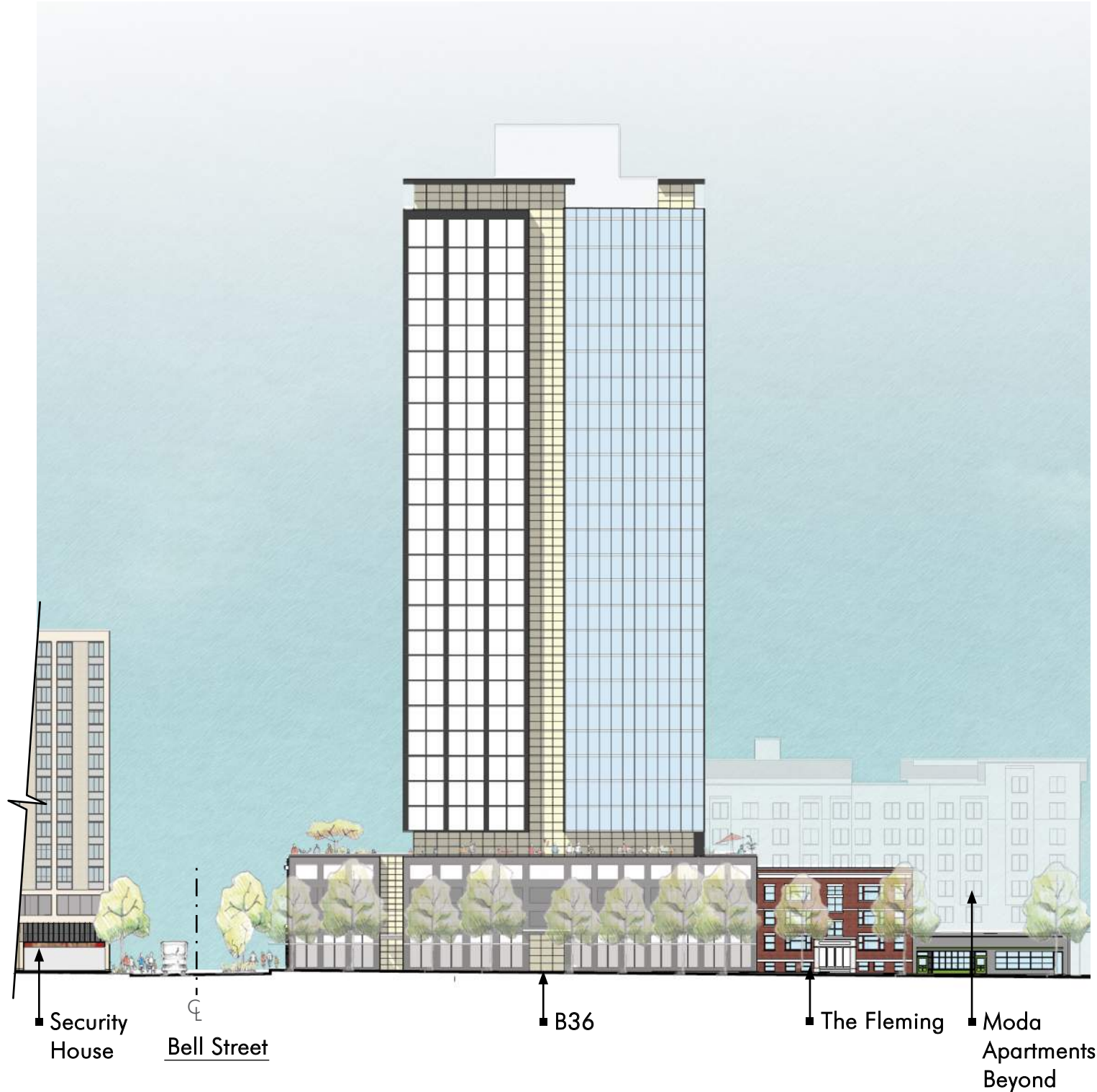


Option 2: Study Request | Podium Section Facing East





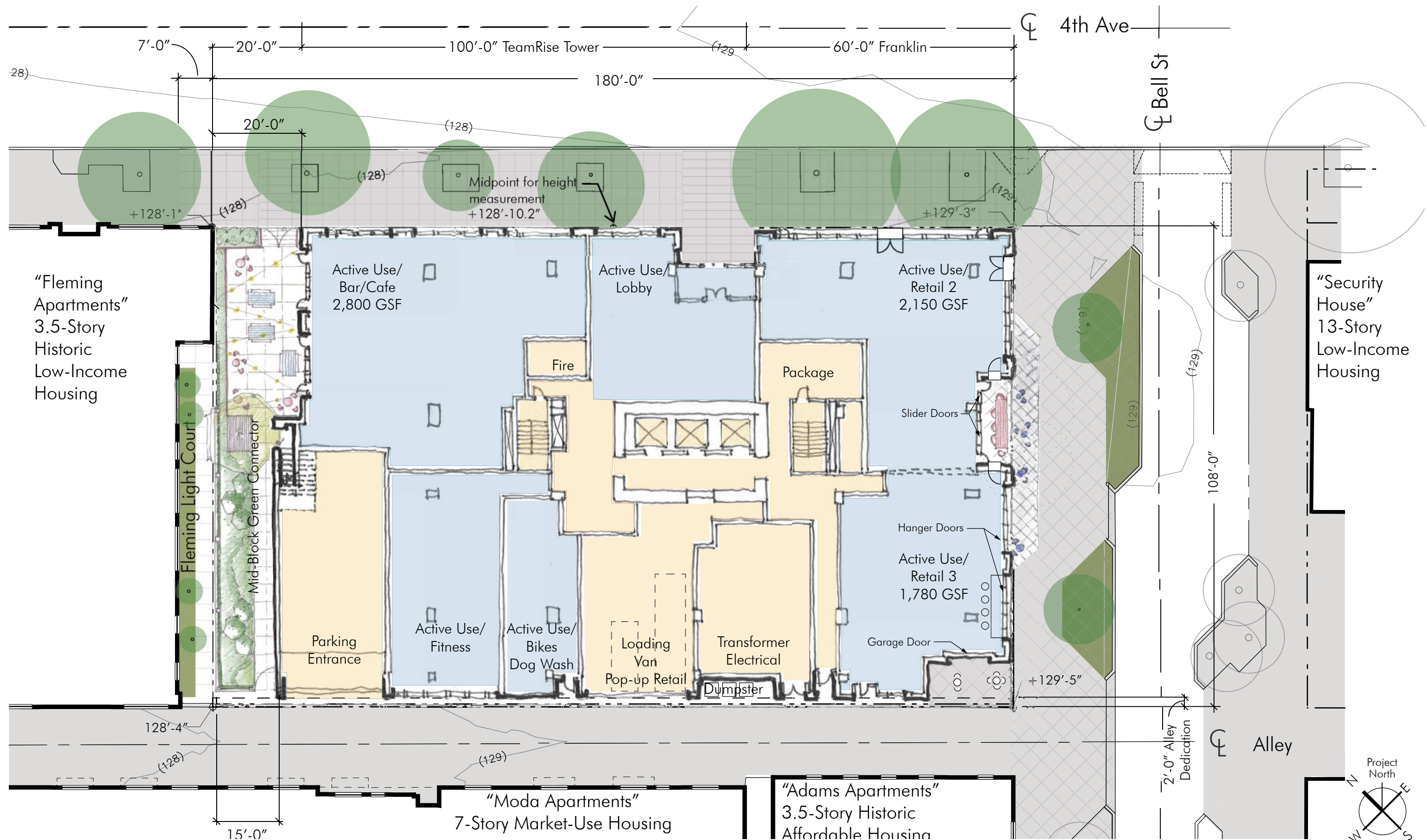
Bell Street Elevation

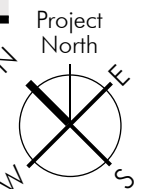


4th Ave Elevation

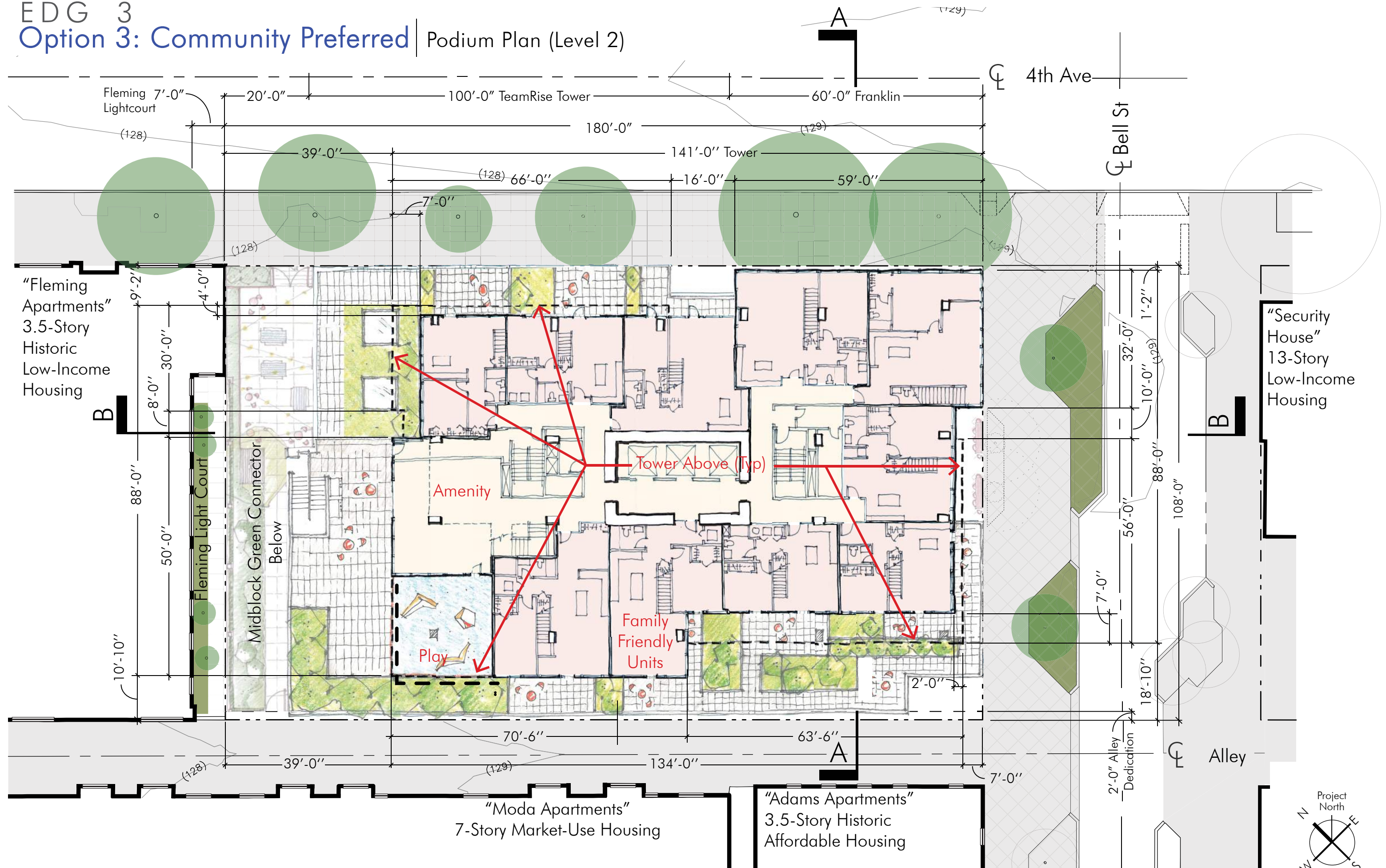
OPTION 3: COMMUNITY PREFERRED

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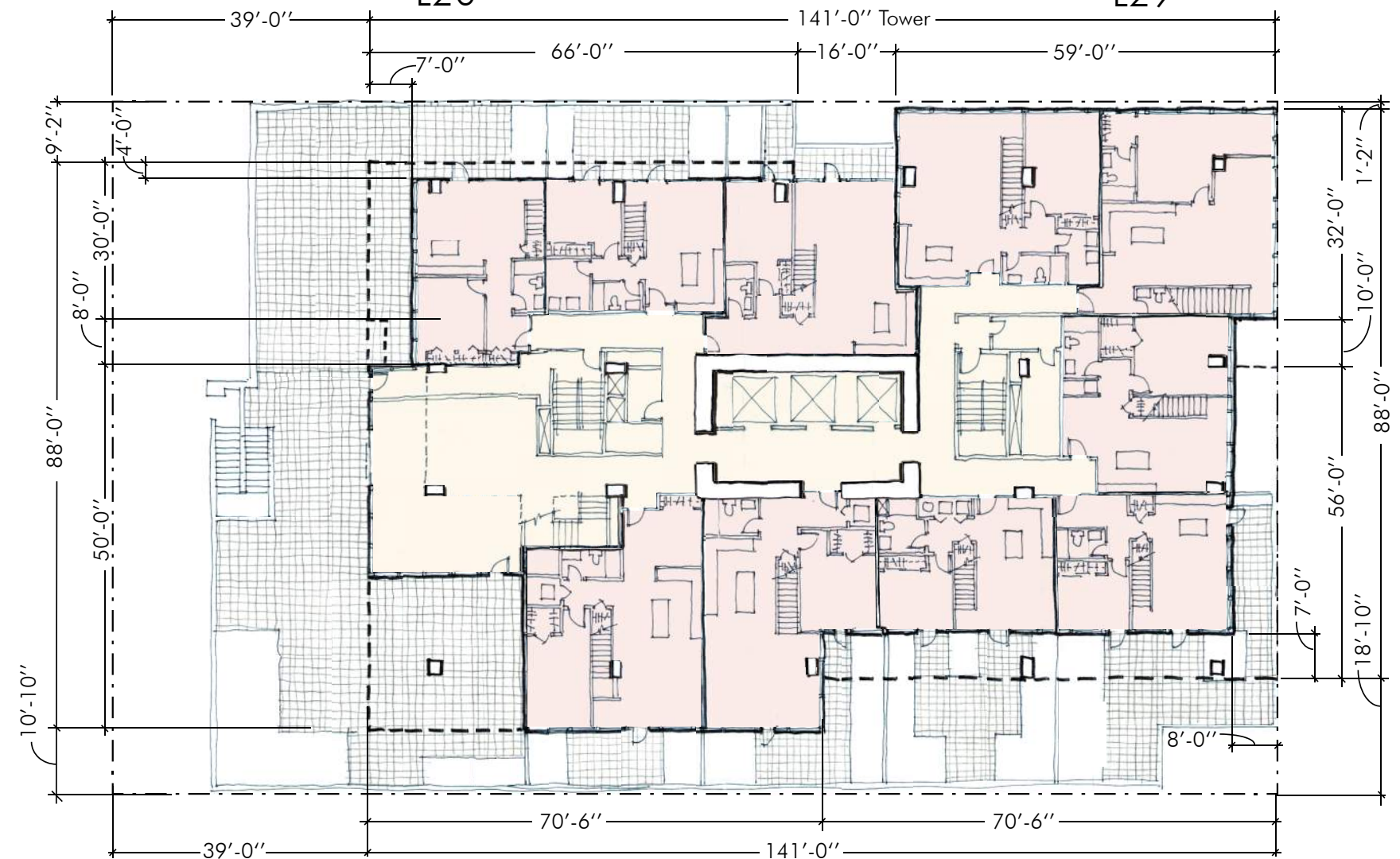
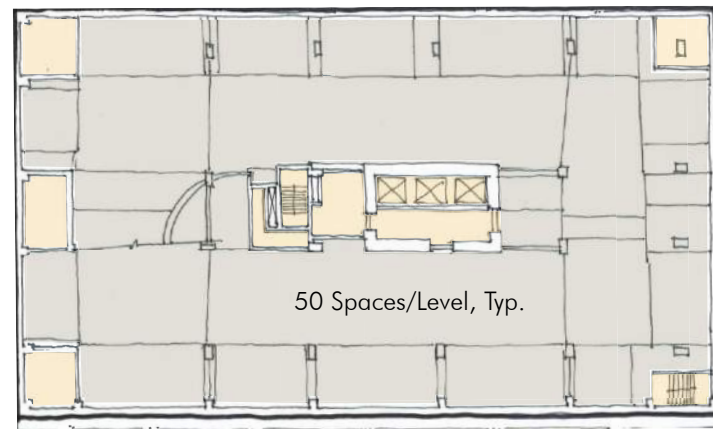
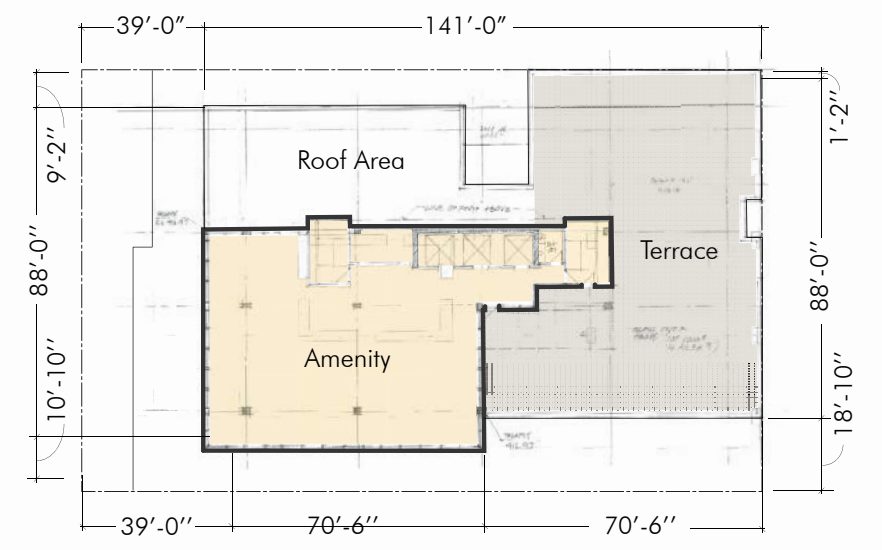
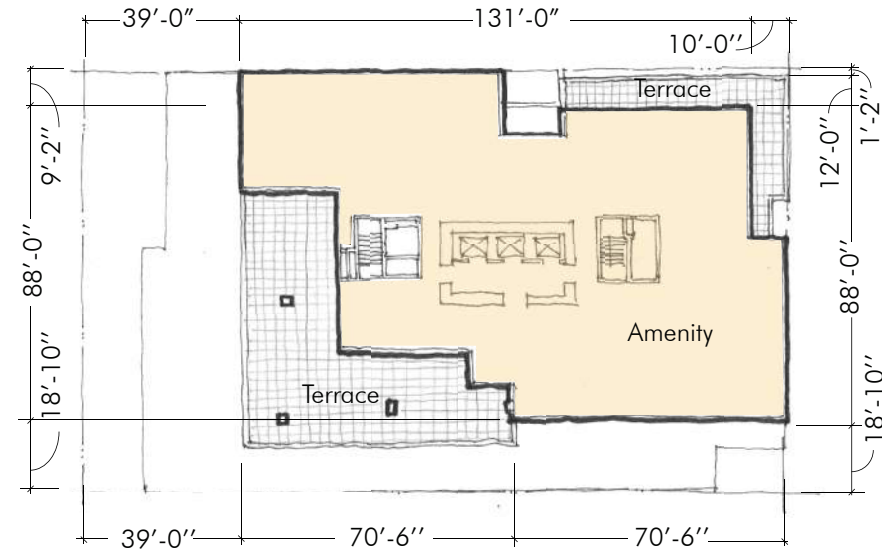
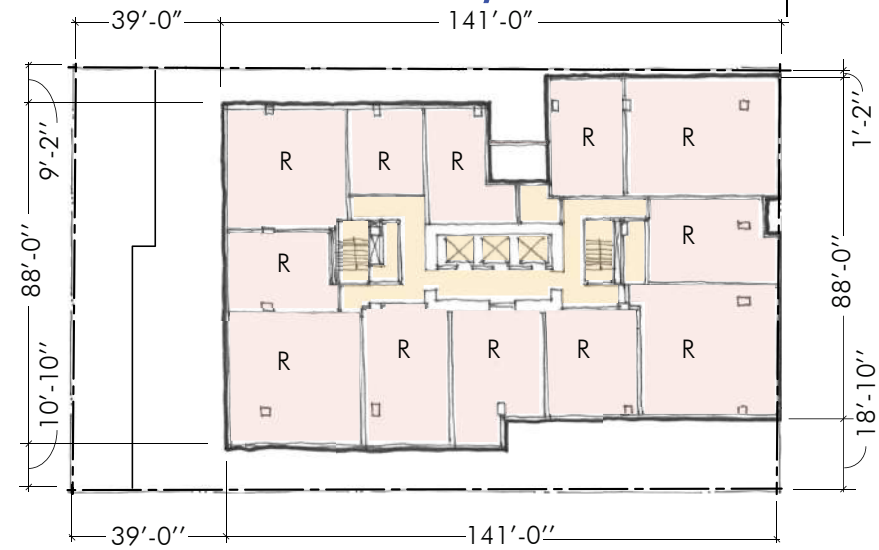


EDG 3 Option 3: Community Preferred | Podium Plan (Level 2)



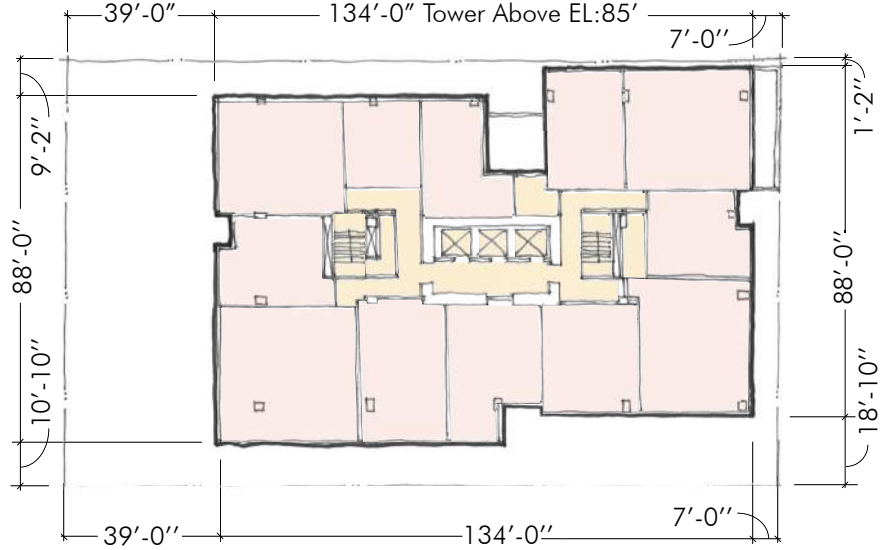
EDG 2 Option 3: Community Preferred

Floor Plans L3-L29

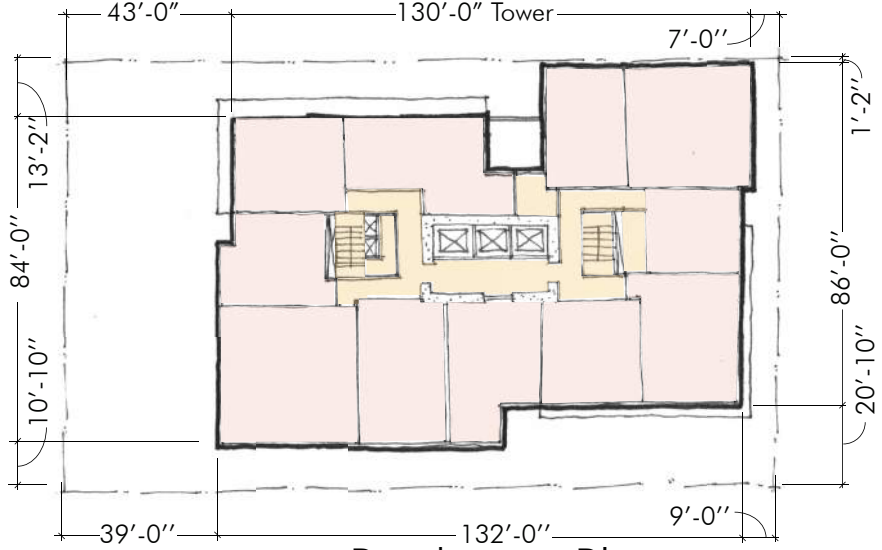


EDG 3
Option 3: Community Preferred

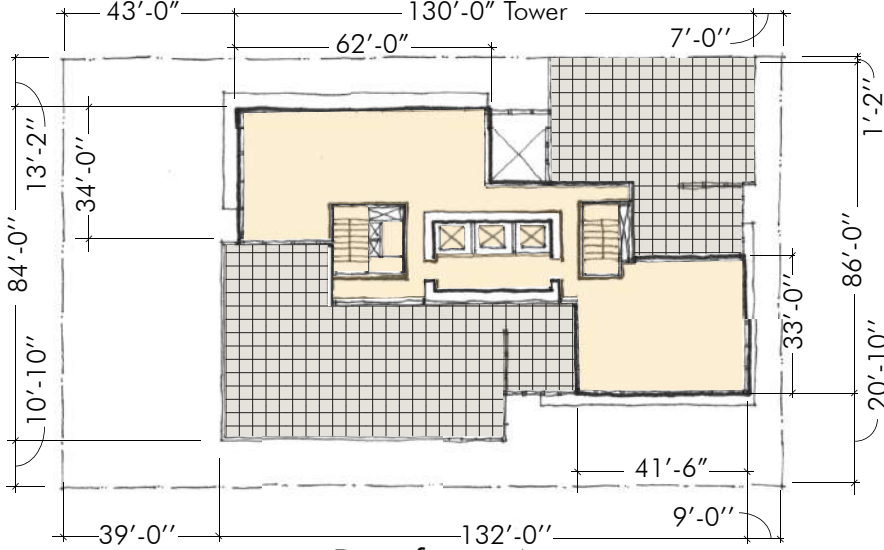
Floor Plans L3-L29



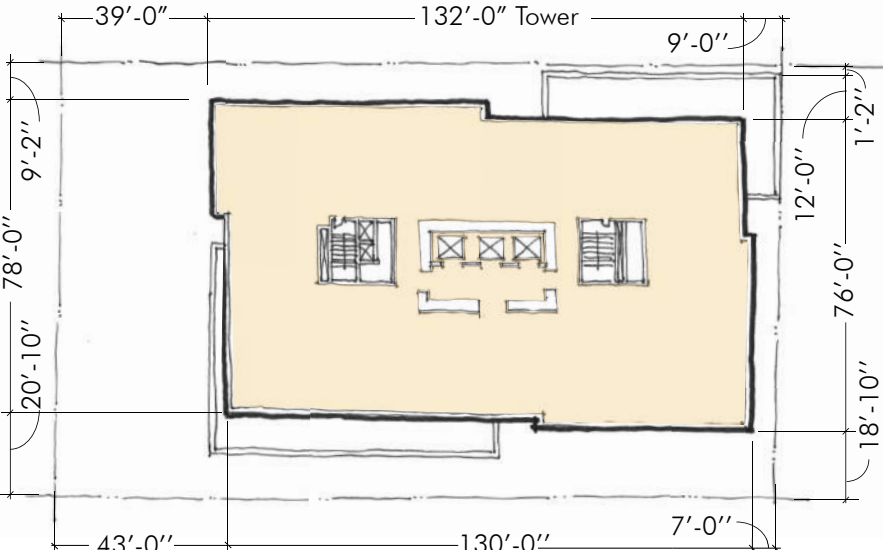
Typical Tower Plan
L9-26(Above EL 85')



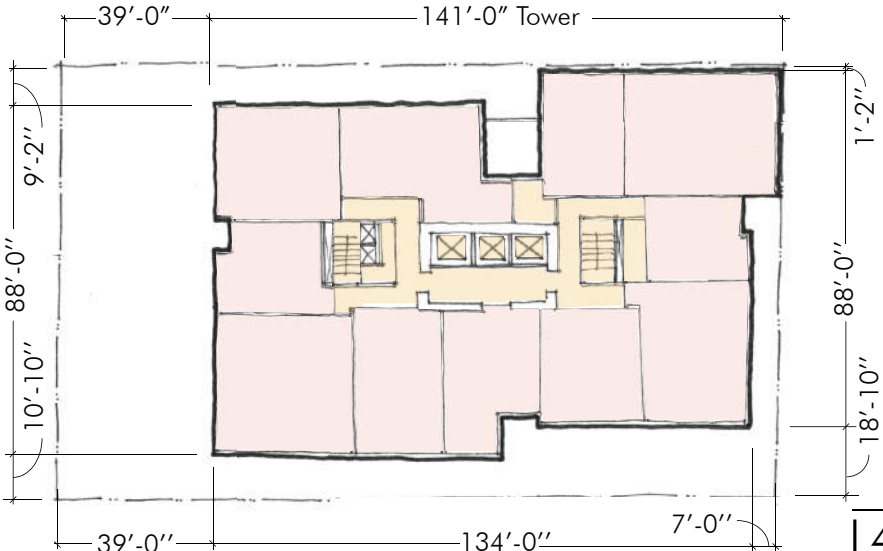
Penthouse Plan
L27-28



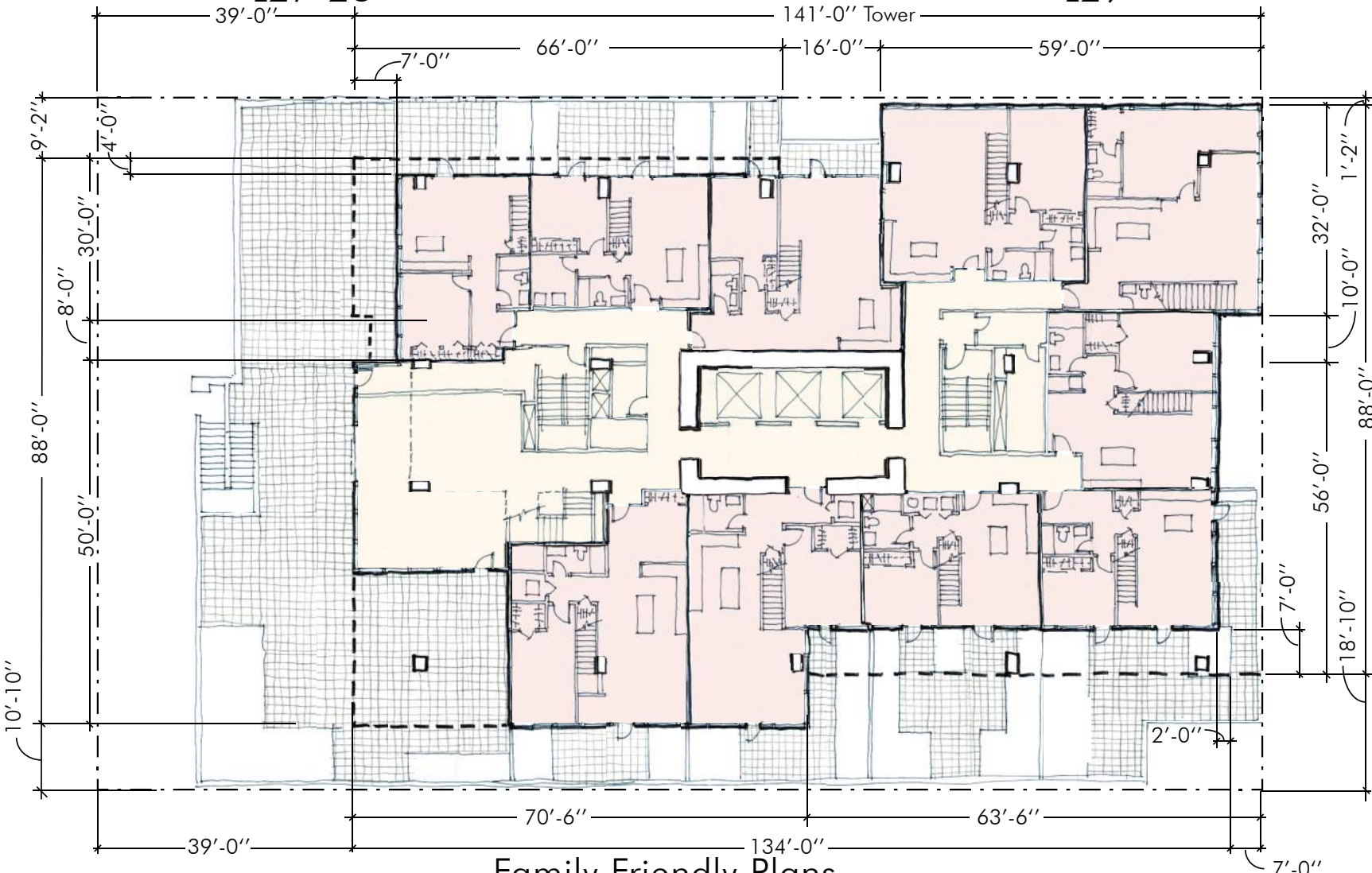
Rooftop Amenity
L29



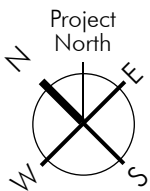
Amenity
L8



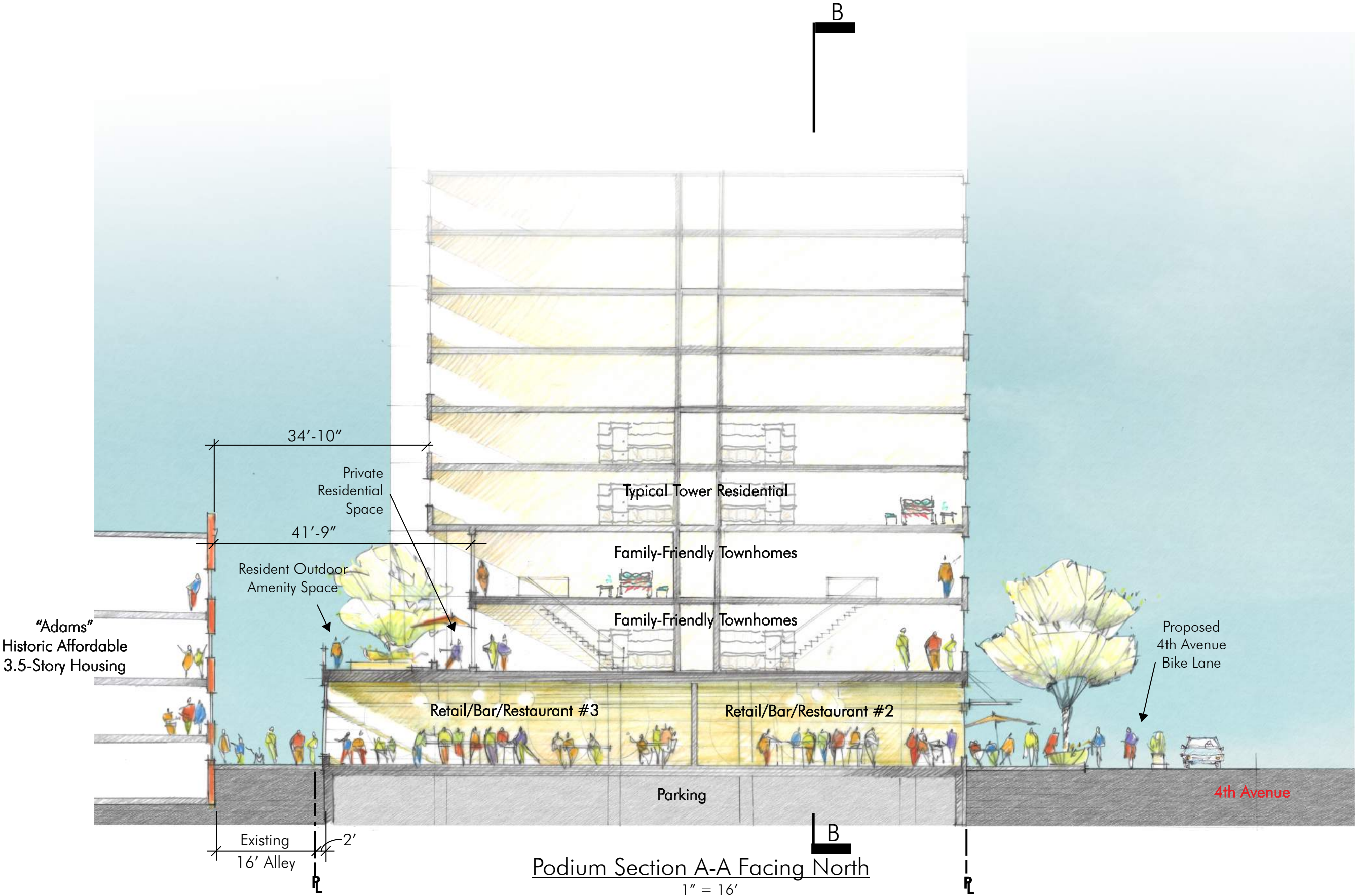
Tower Plan
L4-L7(Below EL 85')



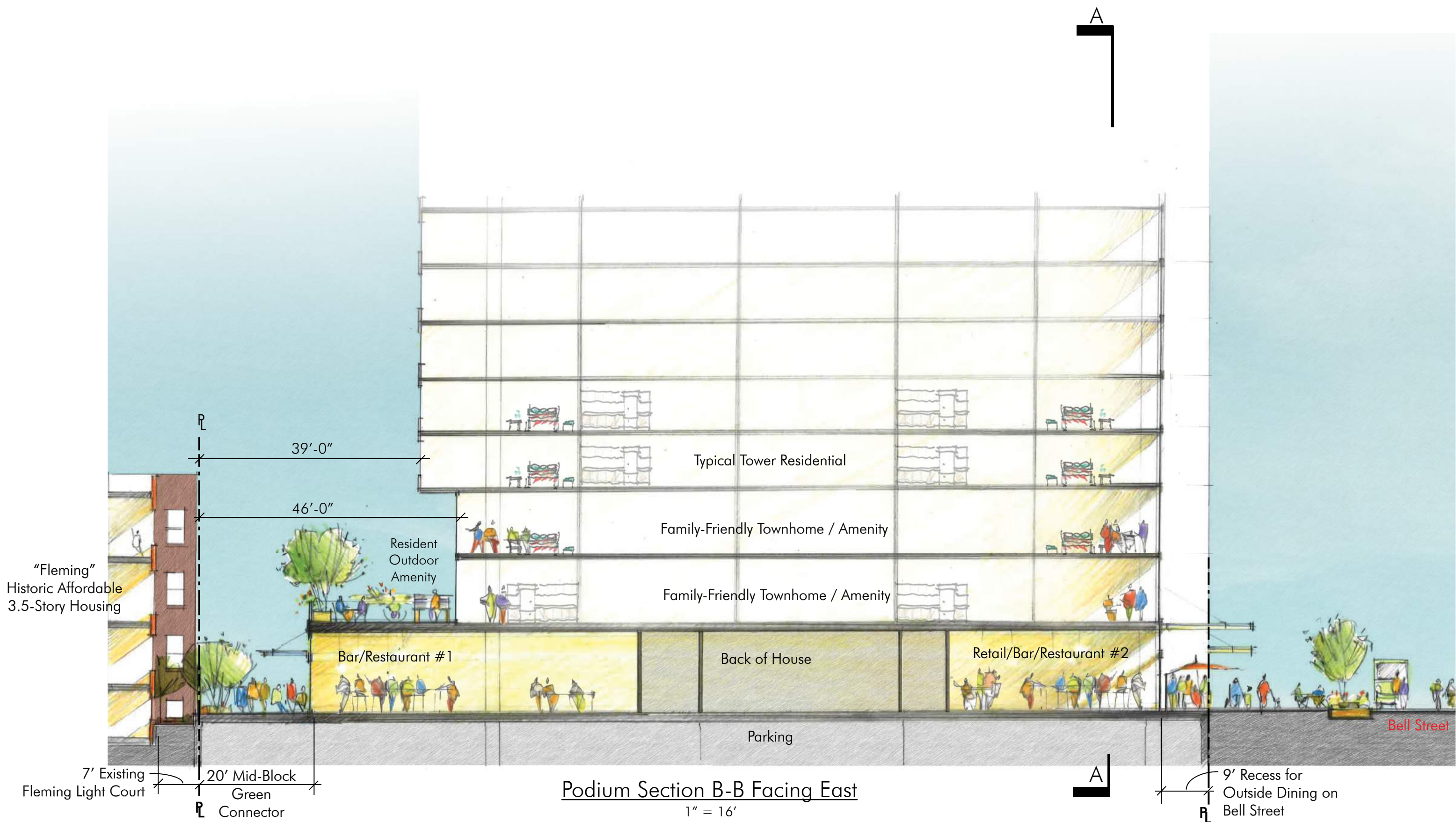
Family Friendly Plans
L3(L2 SIM)

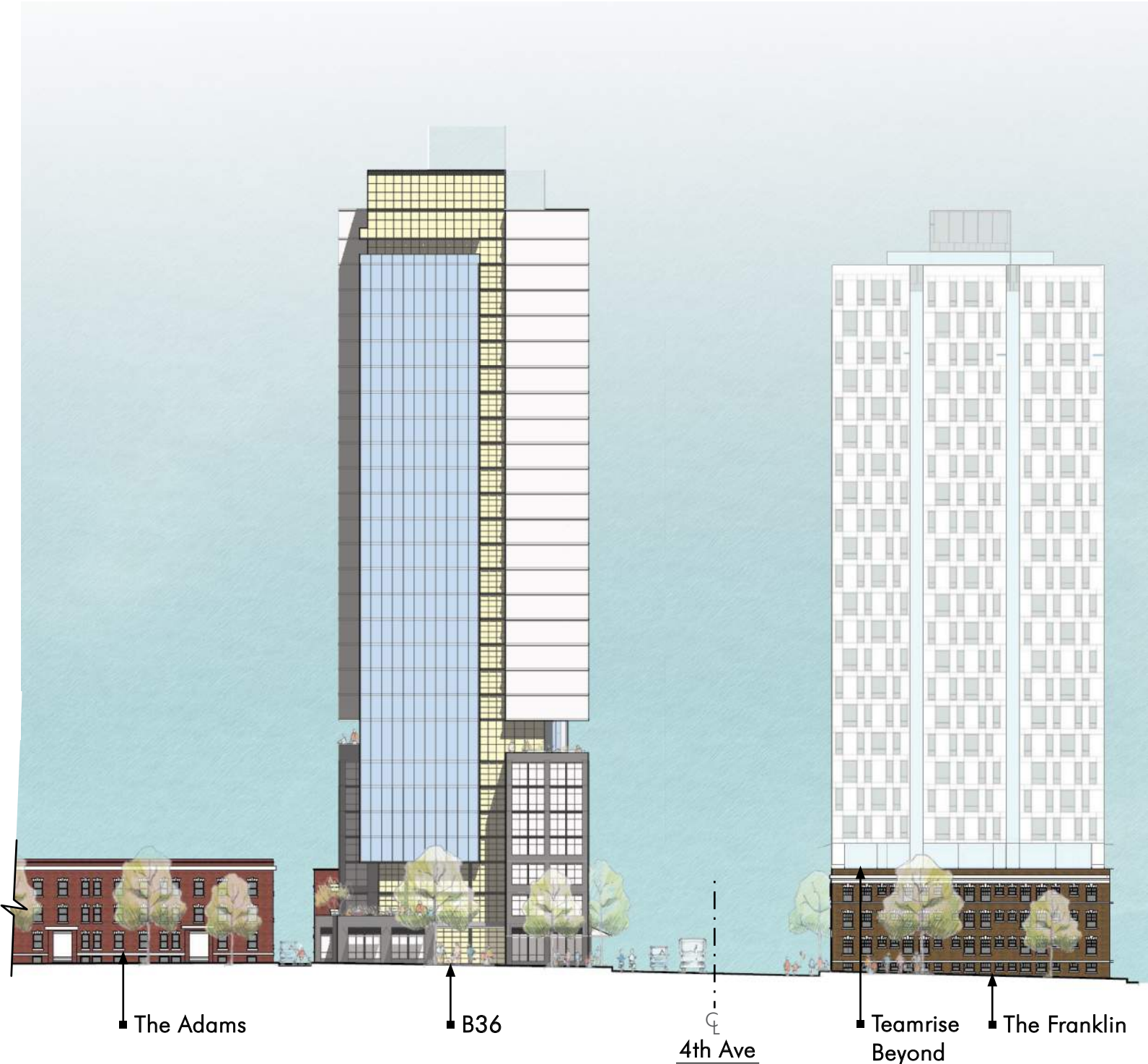


Option 3: Community Preferred | Podium Section Facing North

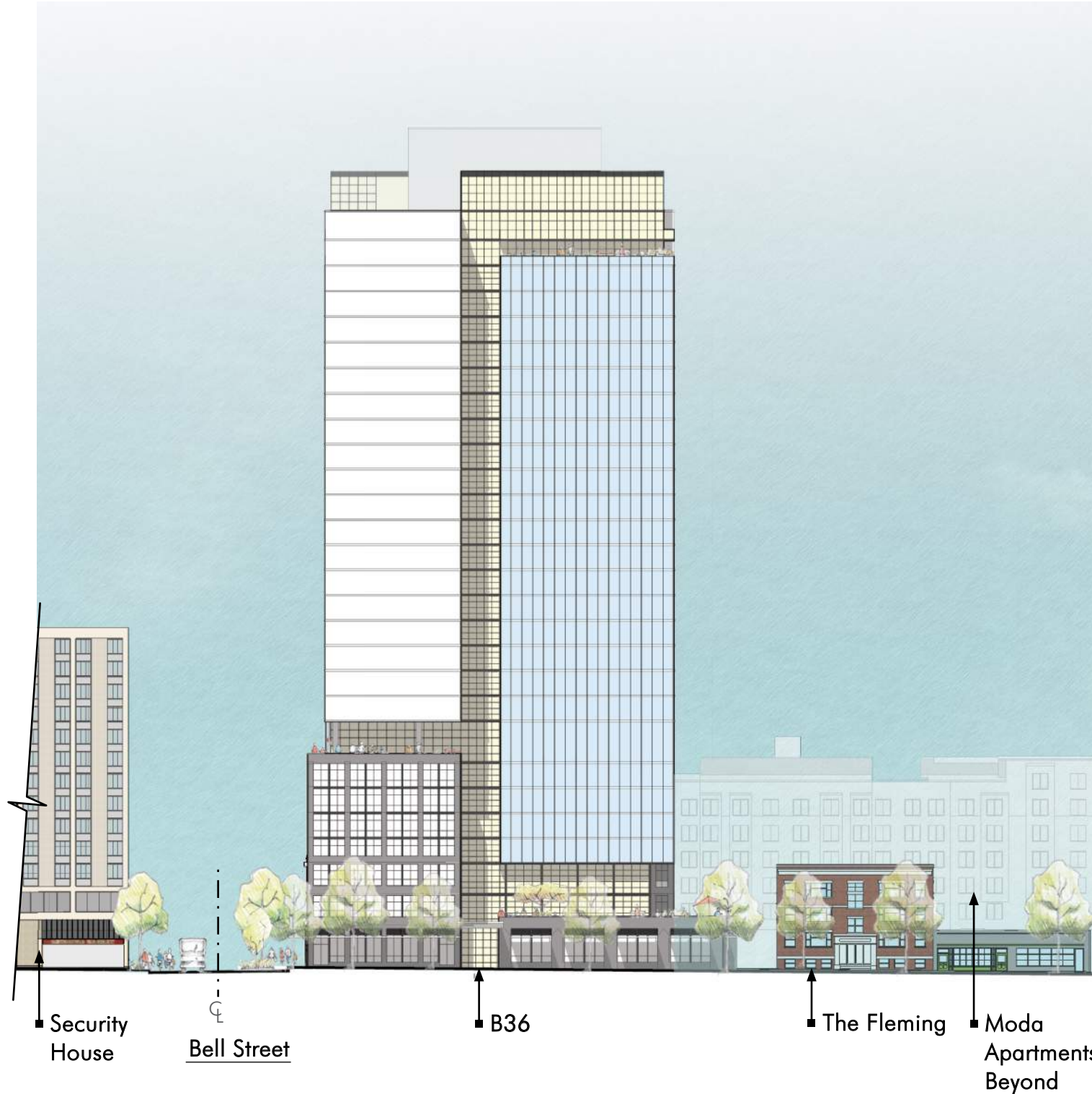


Option 3: Community Preferred | Podium Section Facing East





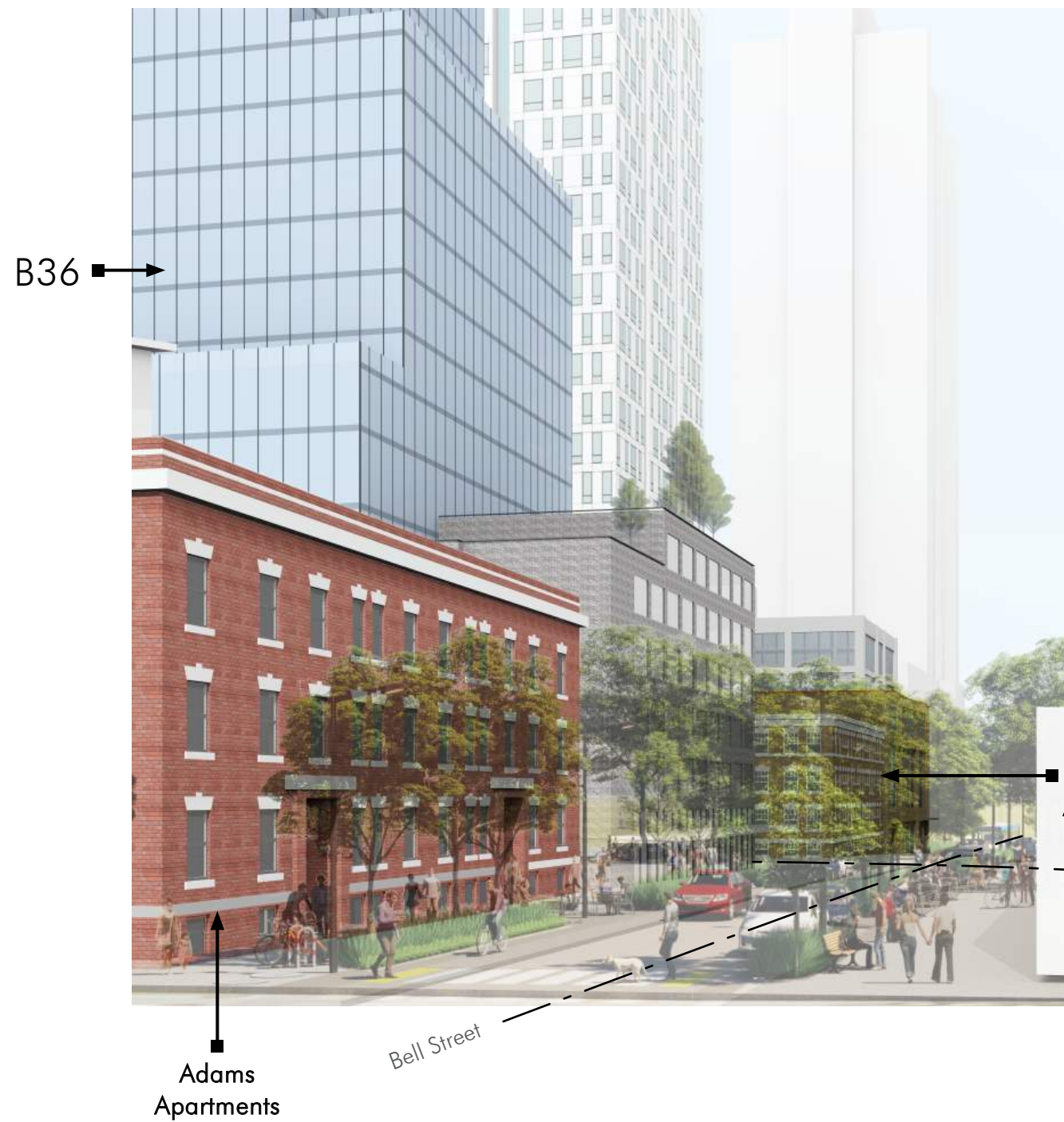
Bell Street Elevation



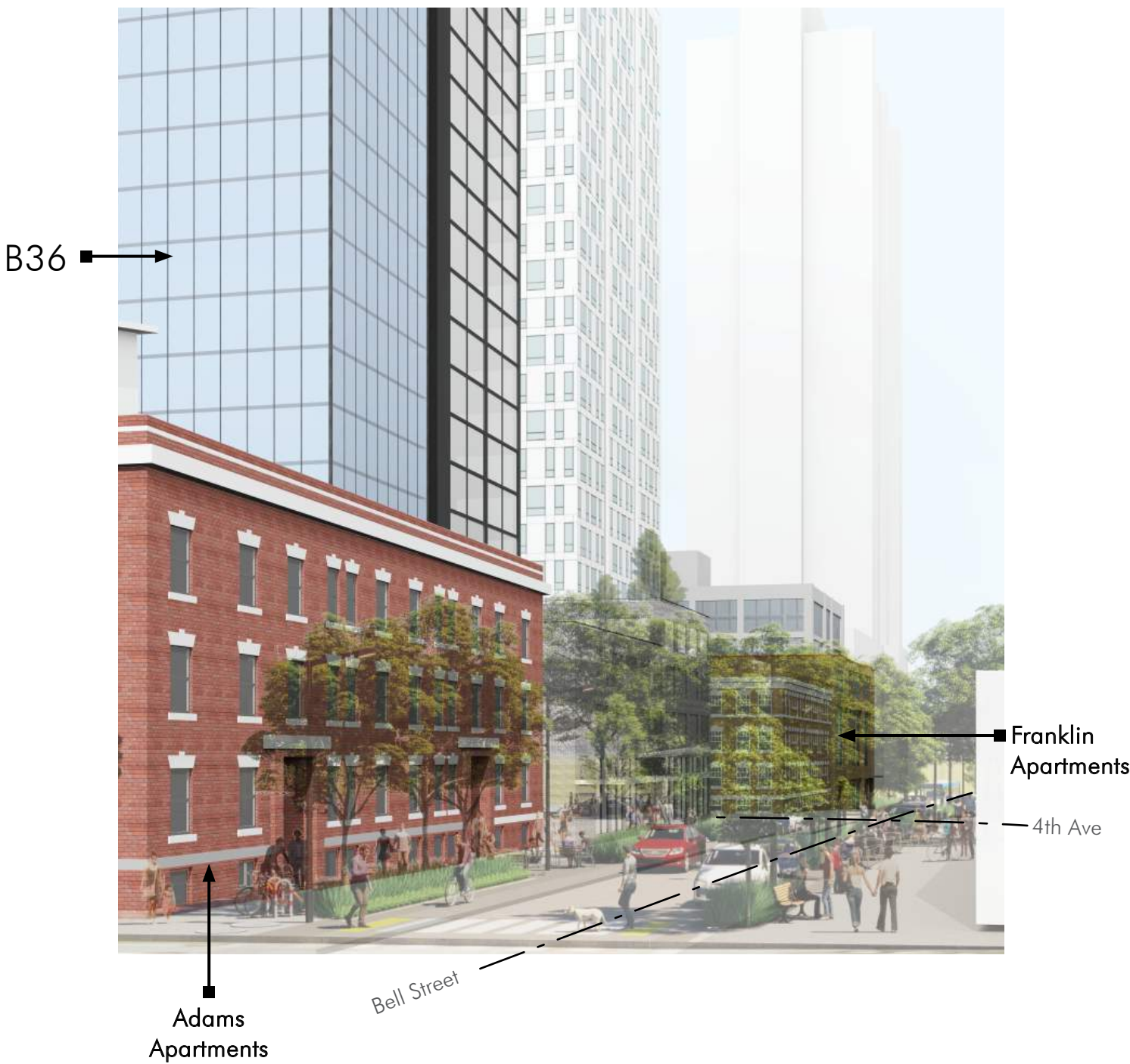
4th Ave Elevation

STREET LEVEL VIEWS

At 3rd and Bell Looking East

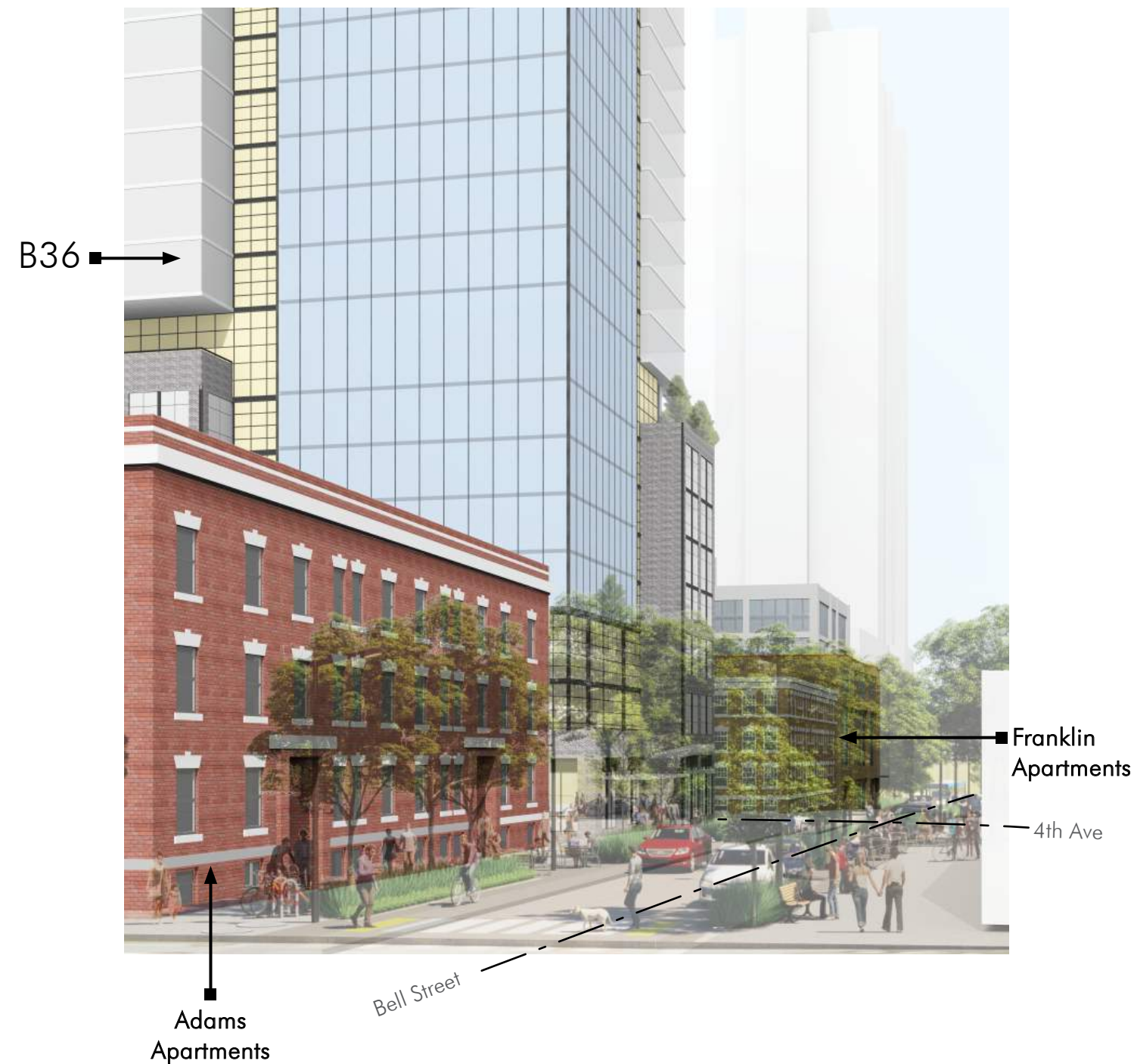


Option 1: Code Compliant



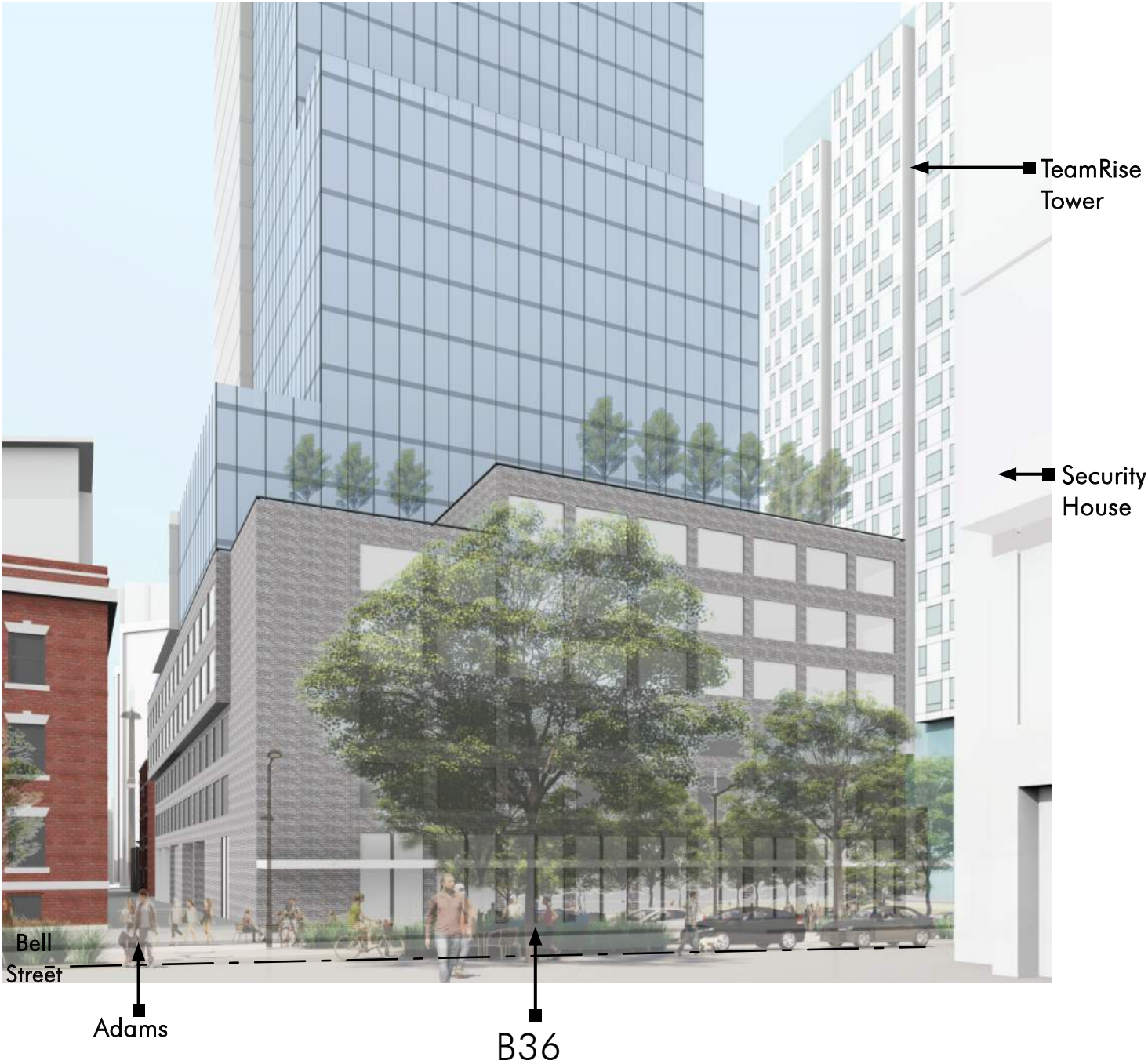
Option 2: Study Request

At 3rd and Bell Looking East

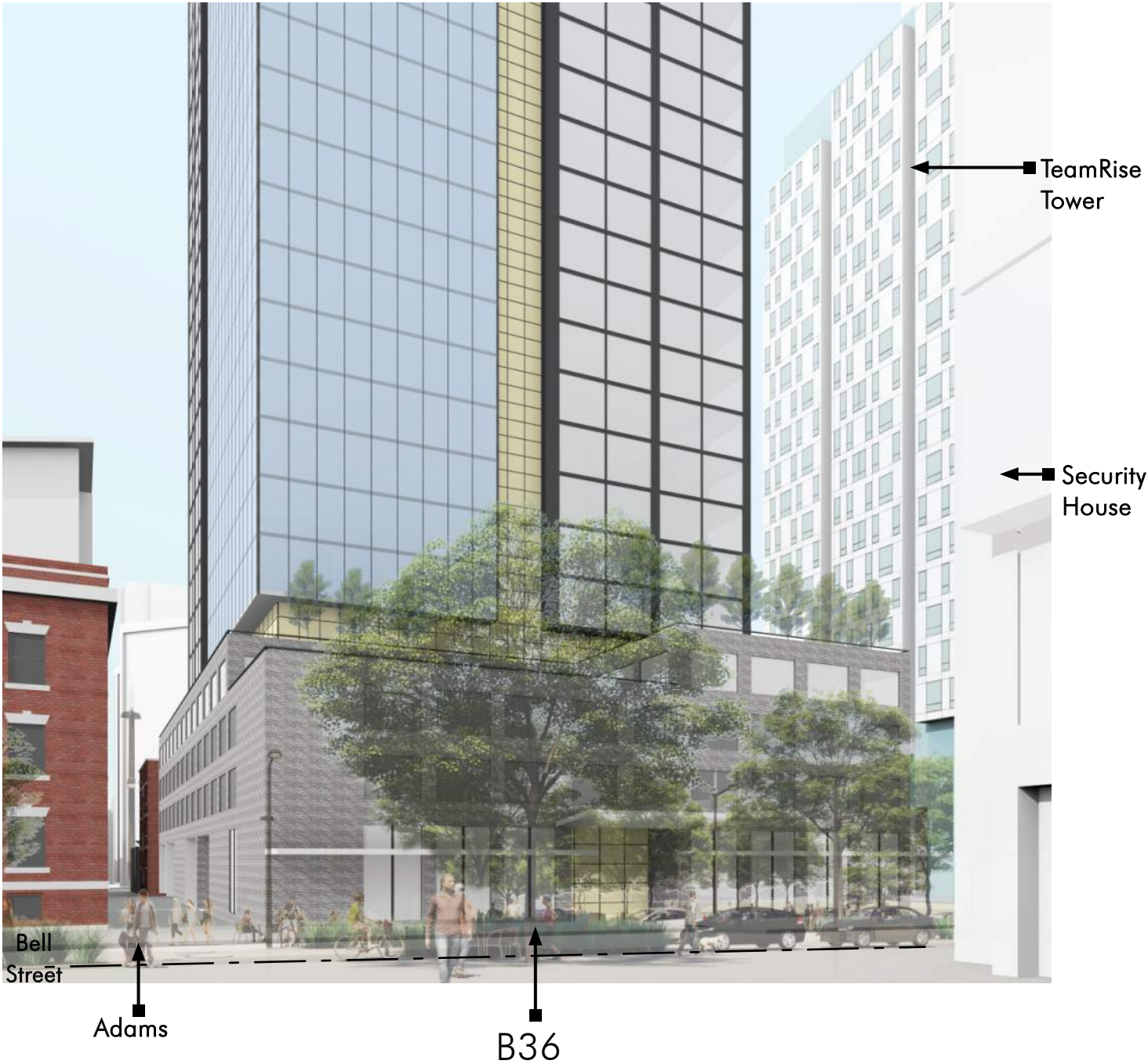


Option 3: Community Preferred

In Alley Looking North Across Bell Street



Option 1: Code Compliant



Option 2: Study Request

In Alley Looking North Across Bell Street

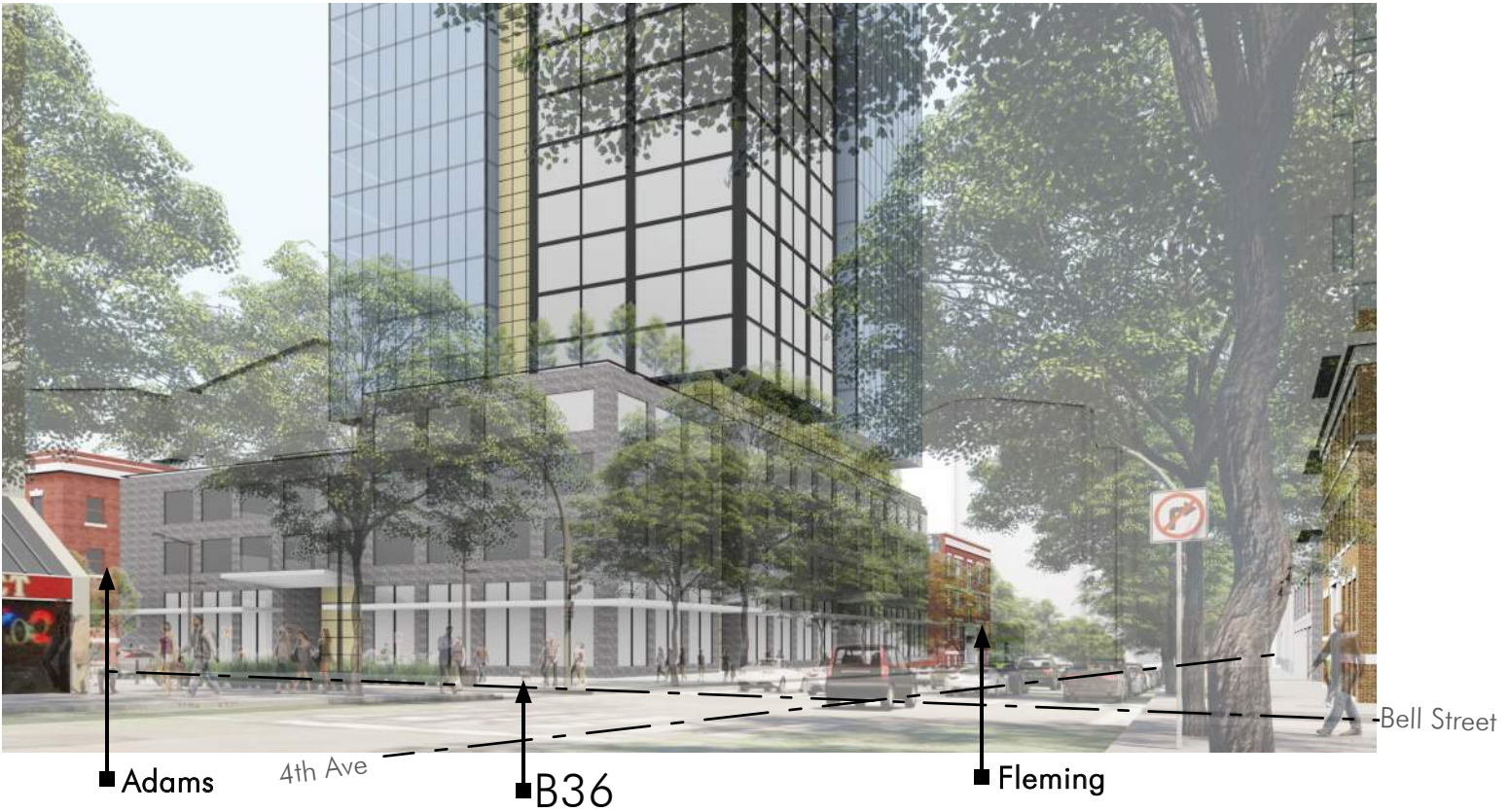


Option 3: Community Preferred

Corner of Bell Street and 4th Ave



Option 1: Code Compliant



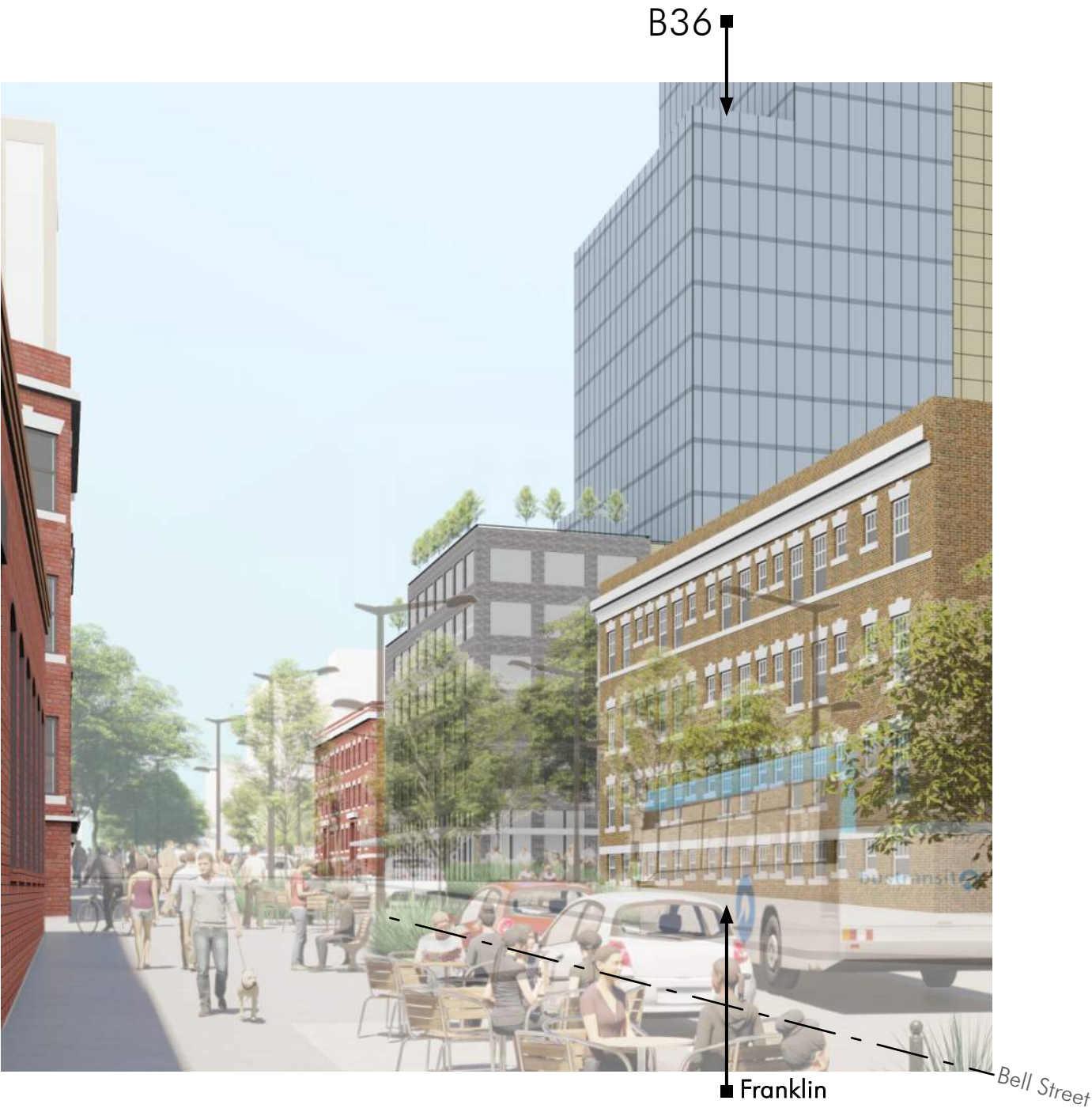
Option 2: Study Request

Corner of Bell Street and 4th Ave



Option 3: Community Preferred

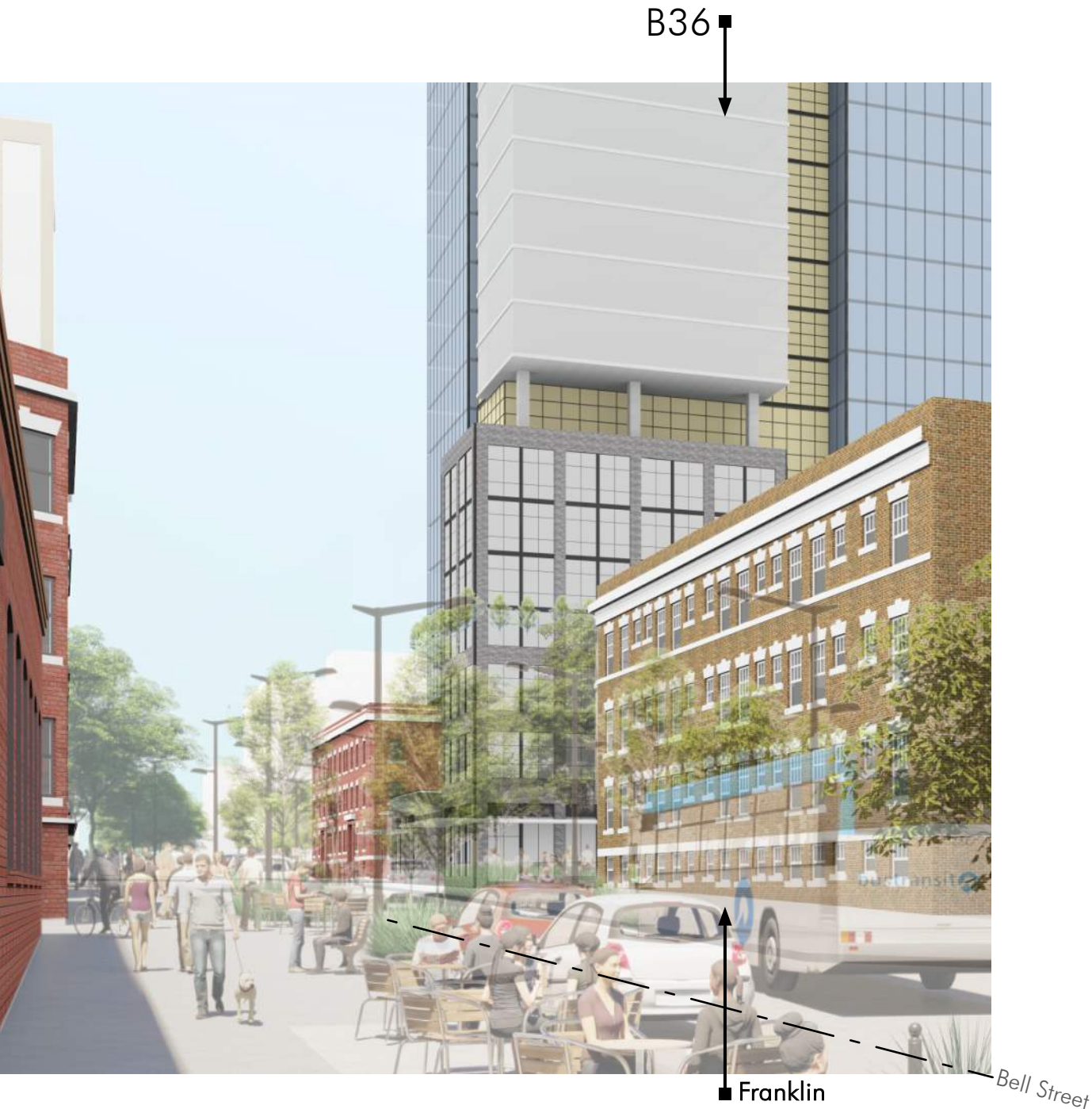
On Bell Street and 5th Ave Looking West



Option 1: Code Compliant

Option 2: Study Request

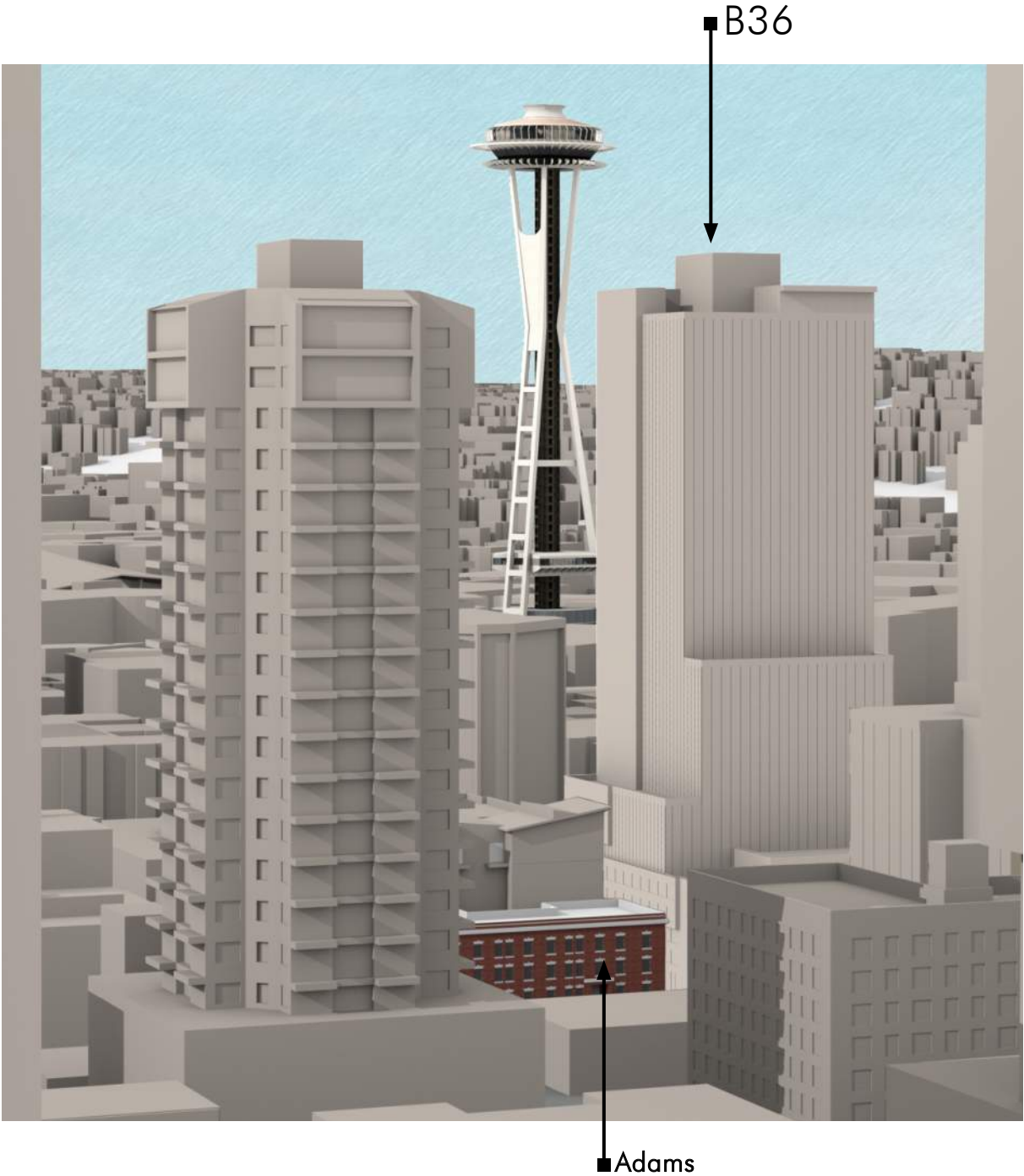
On Bell Street and 5th Ave Looking West



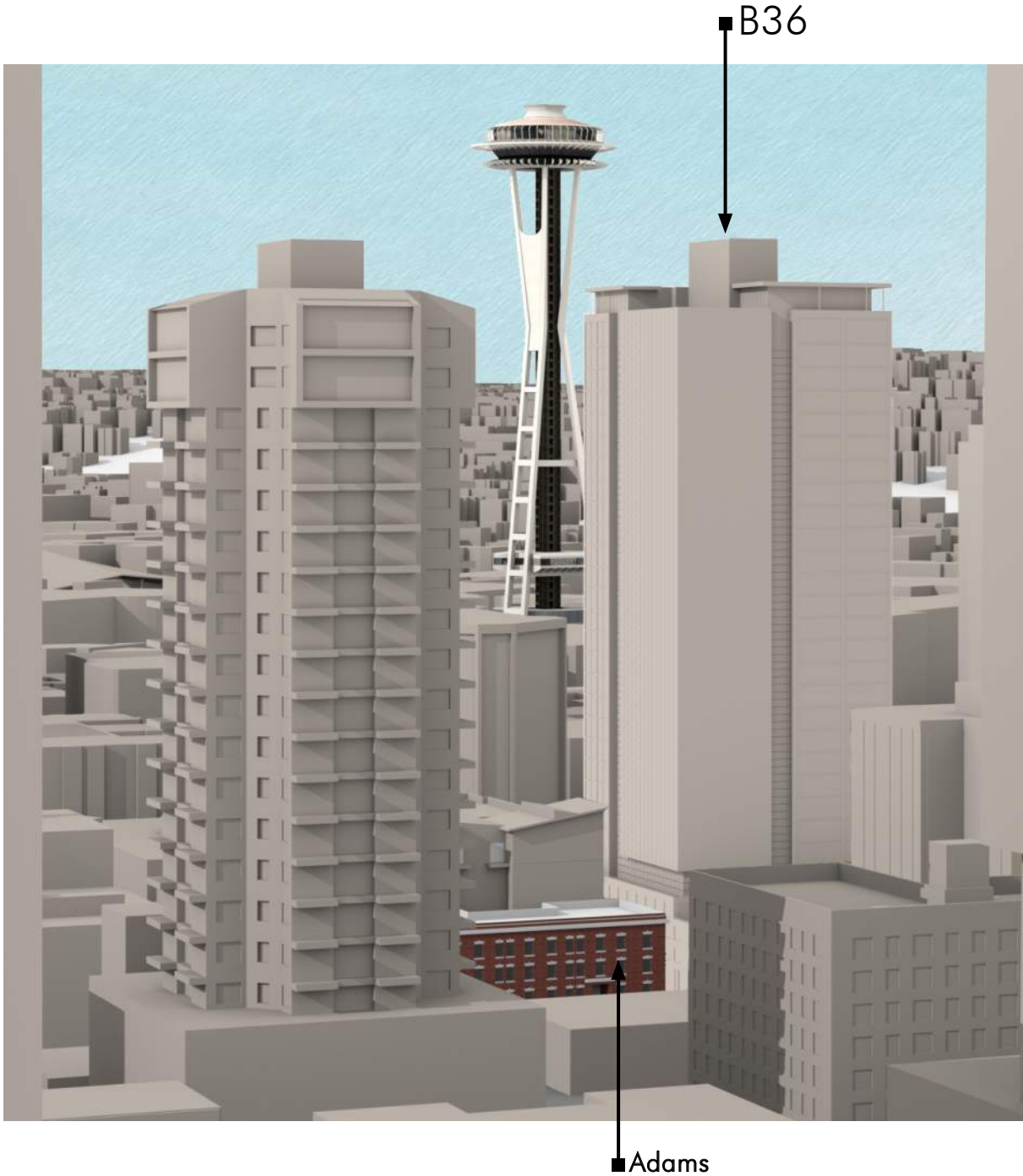
Option 3: Community Preferred

Distant Tower Views

Looking North from Viktoria Apartments' Roof Deck on 2nd and Stewart



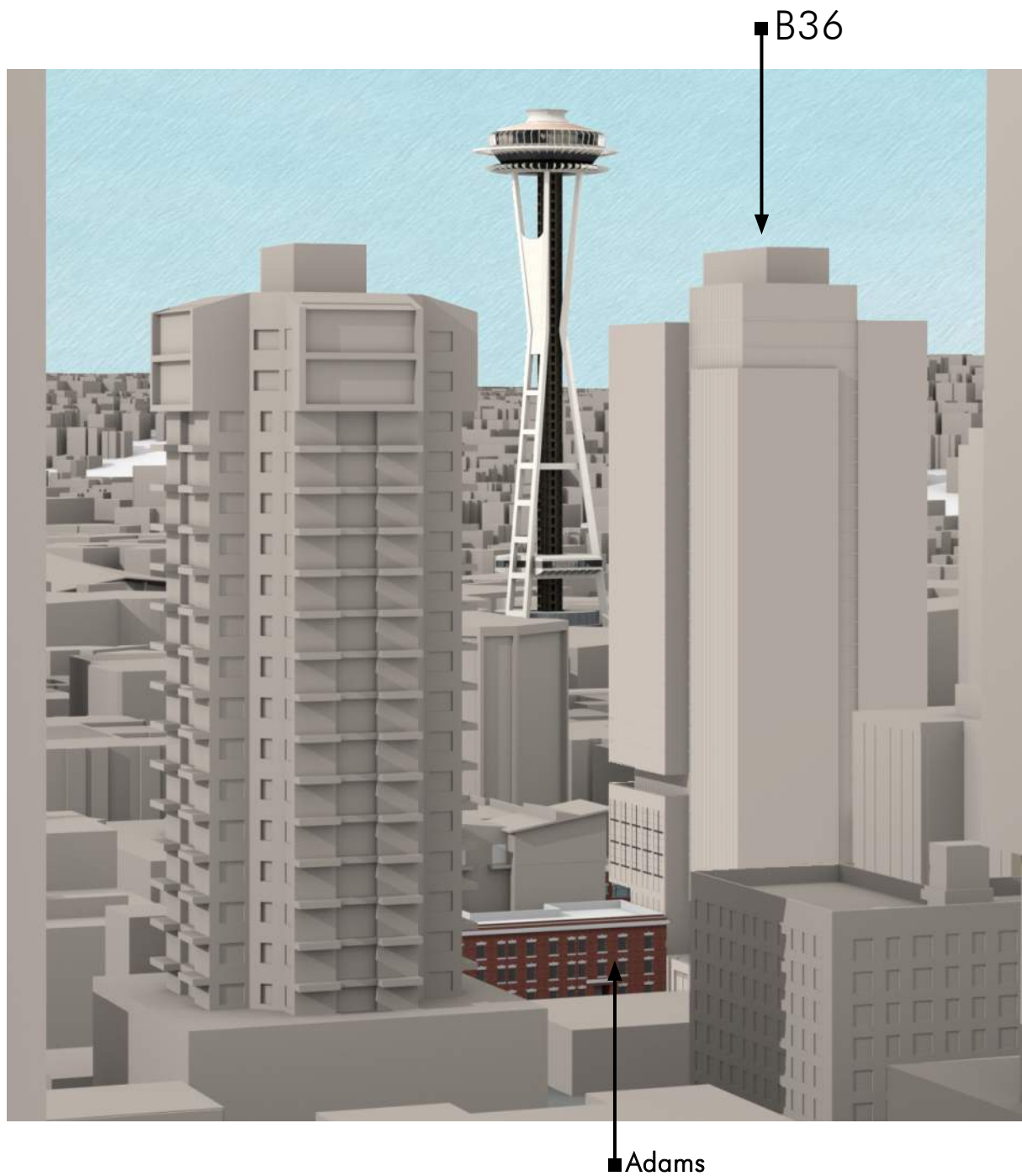
Option 1: Code Compliant



Option 2: Study Request

Distant Tower Views

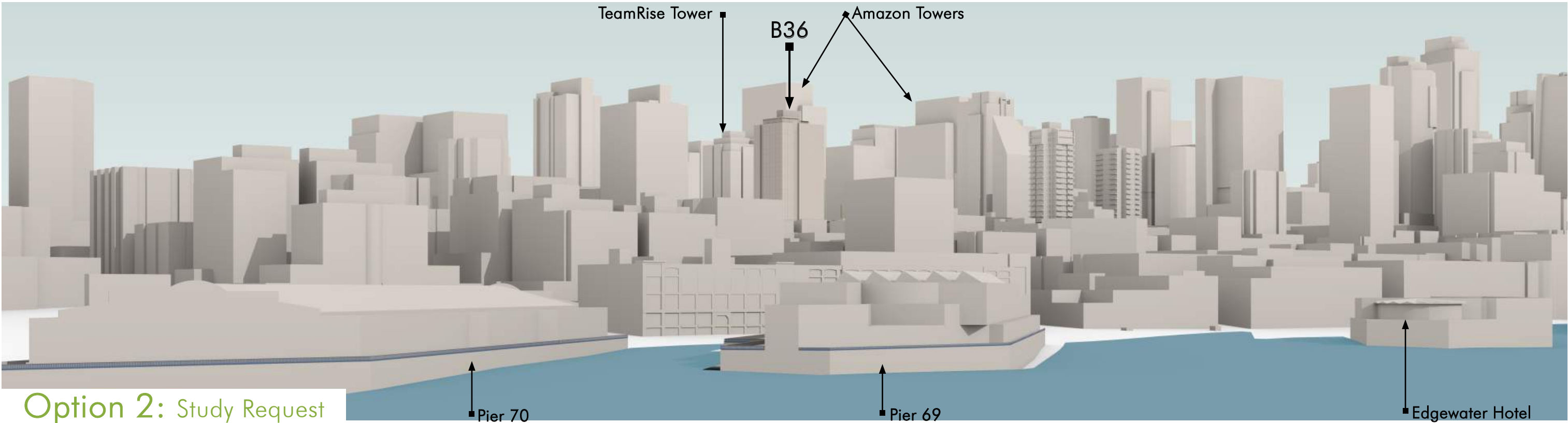
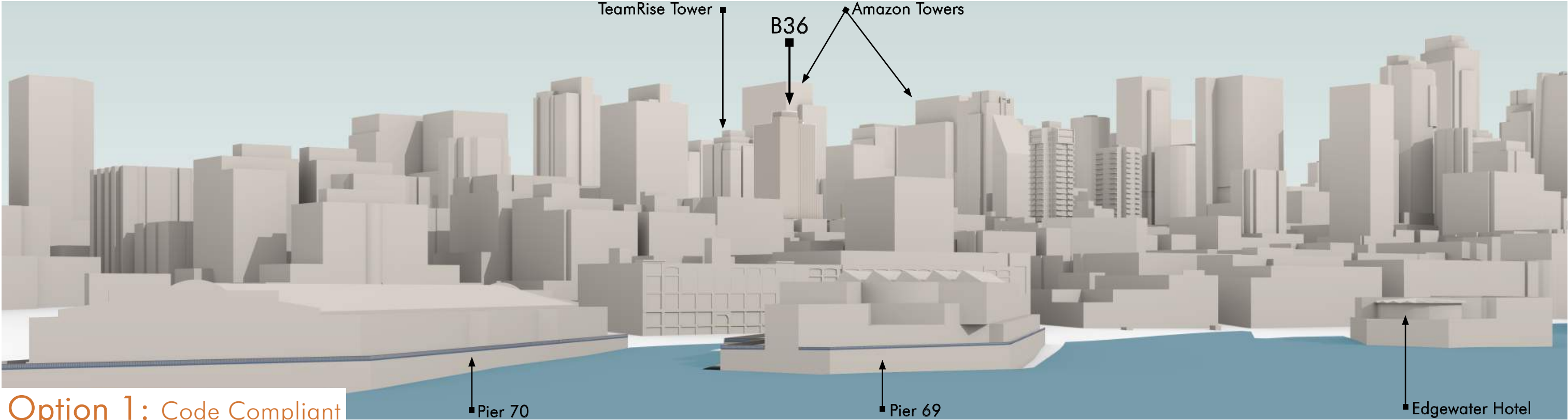
Looking North from Viktoria Apartments' Roof Deck on 2nd and Stewart



Option 3: Community Preferred

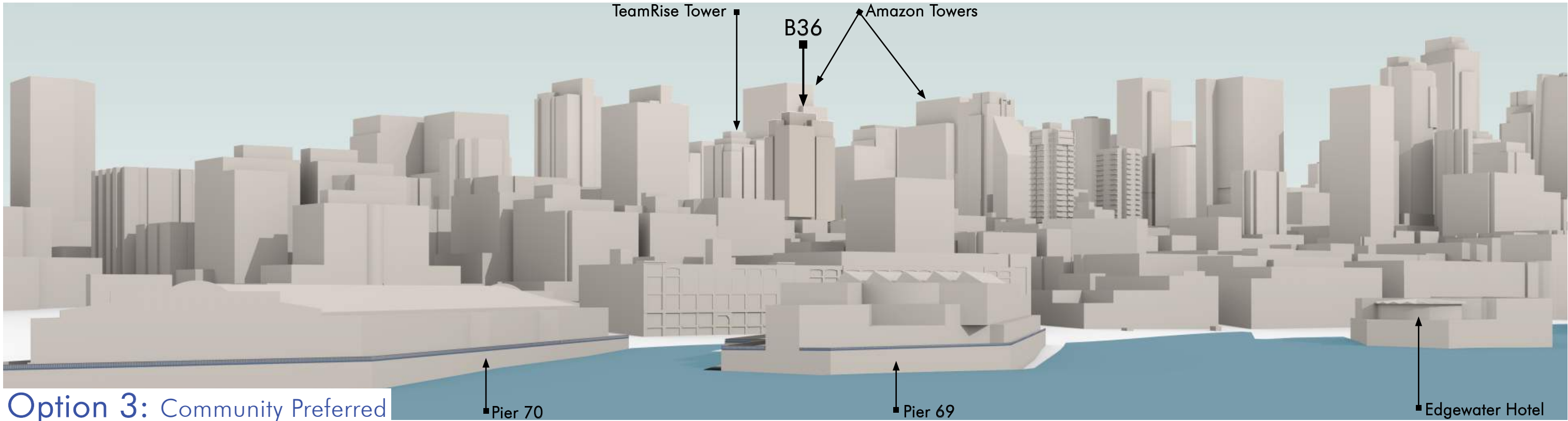
Distant Tower Views

Looking East from Victoria Clipper Near the Edgewater



Distant Tower Views

Looking East from Victoria Clipper Near the Edgewater

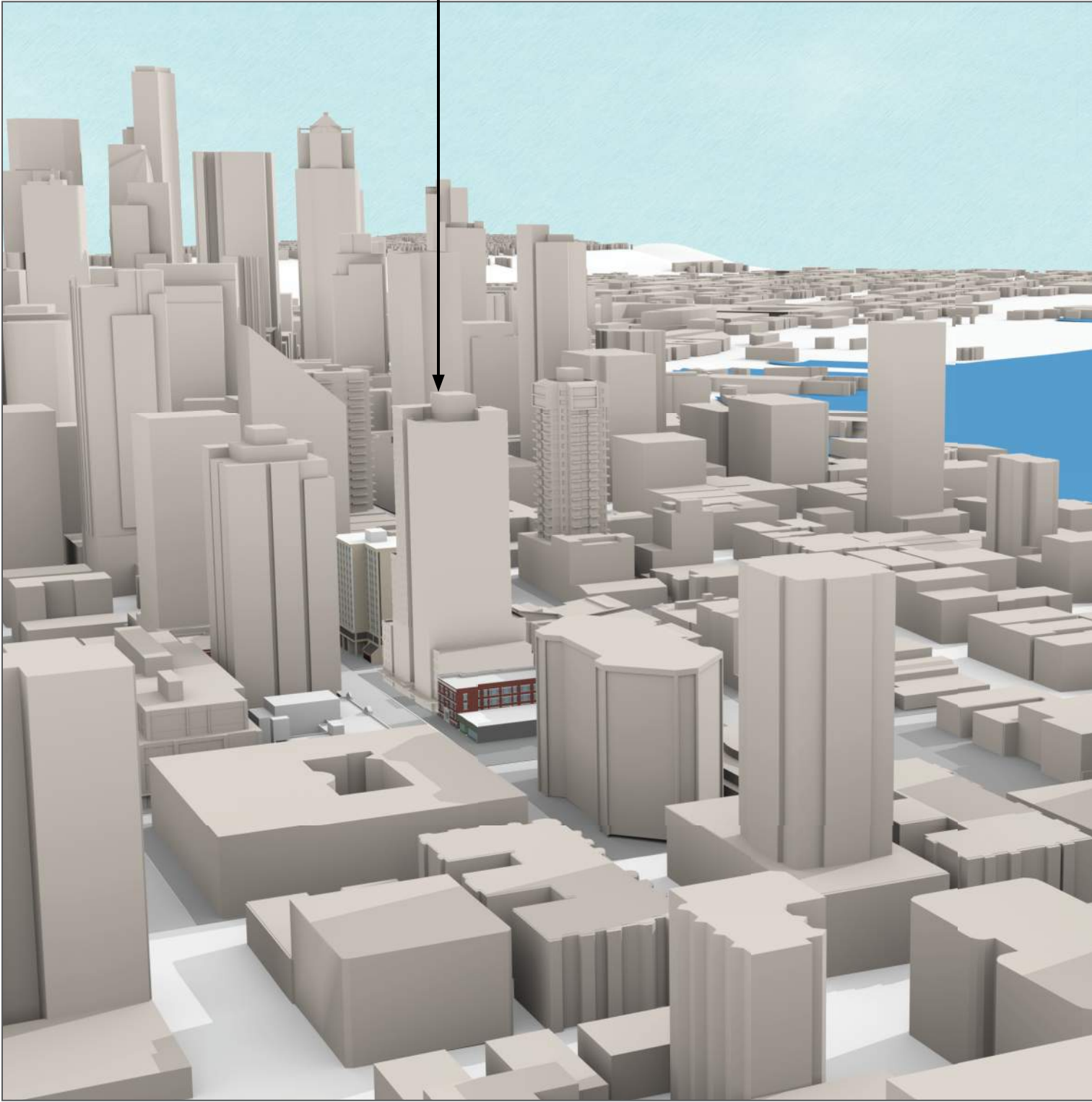


Option 3: Community Preferred

Distant Tower Views

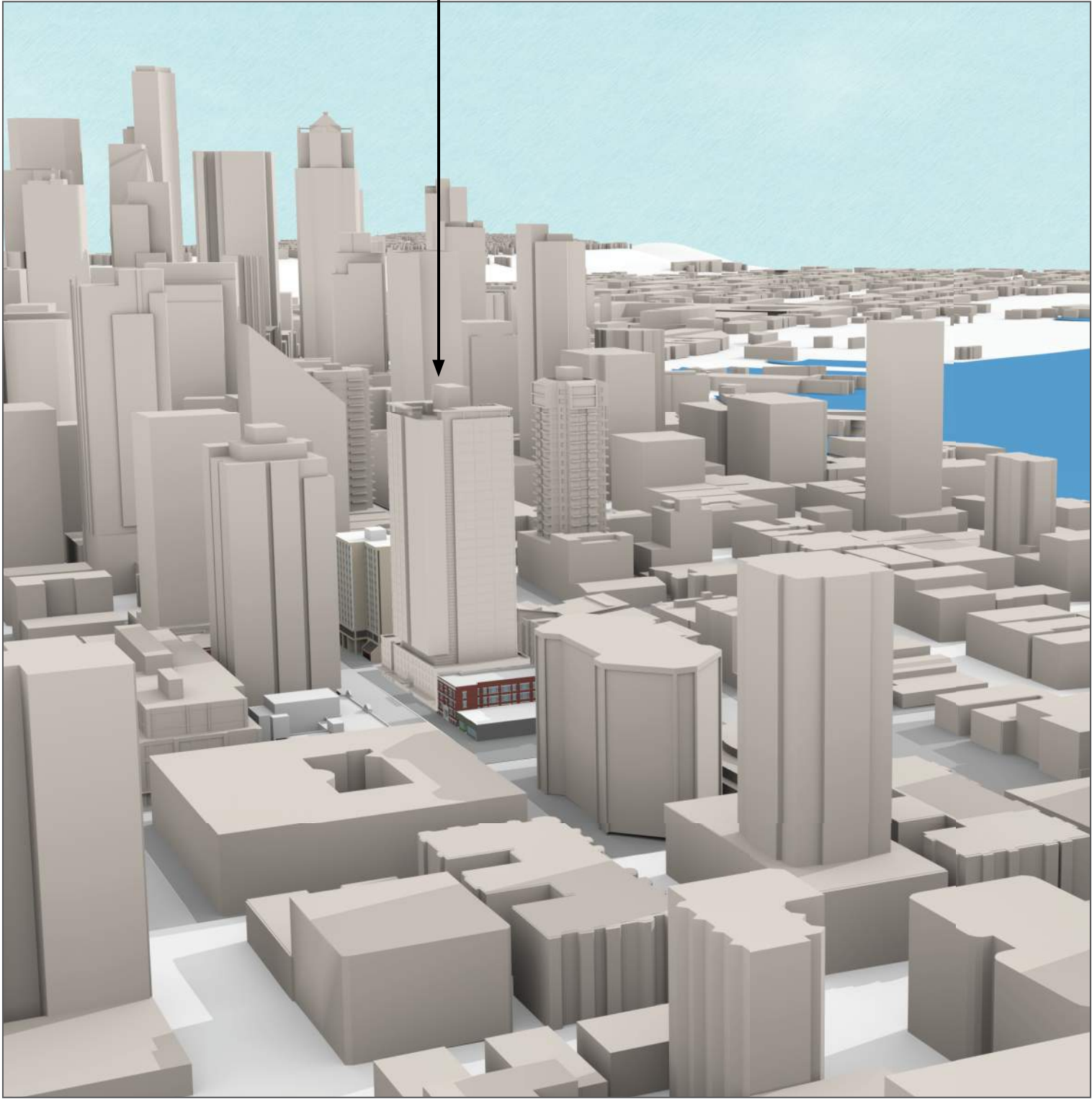
View from Space Needle Observation Deck

■ B36



Option 1: Code Compliant

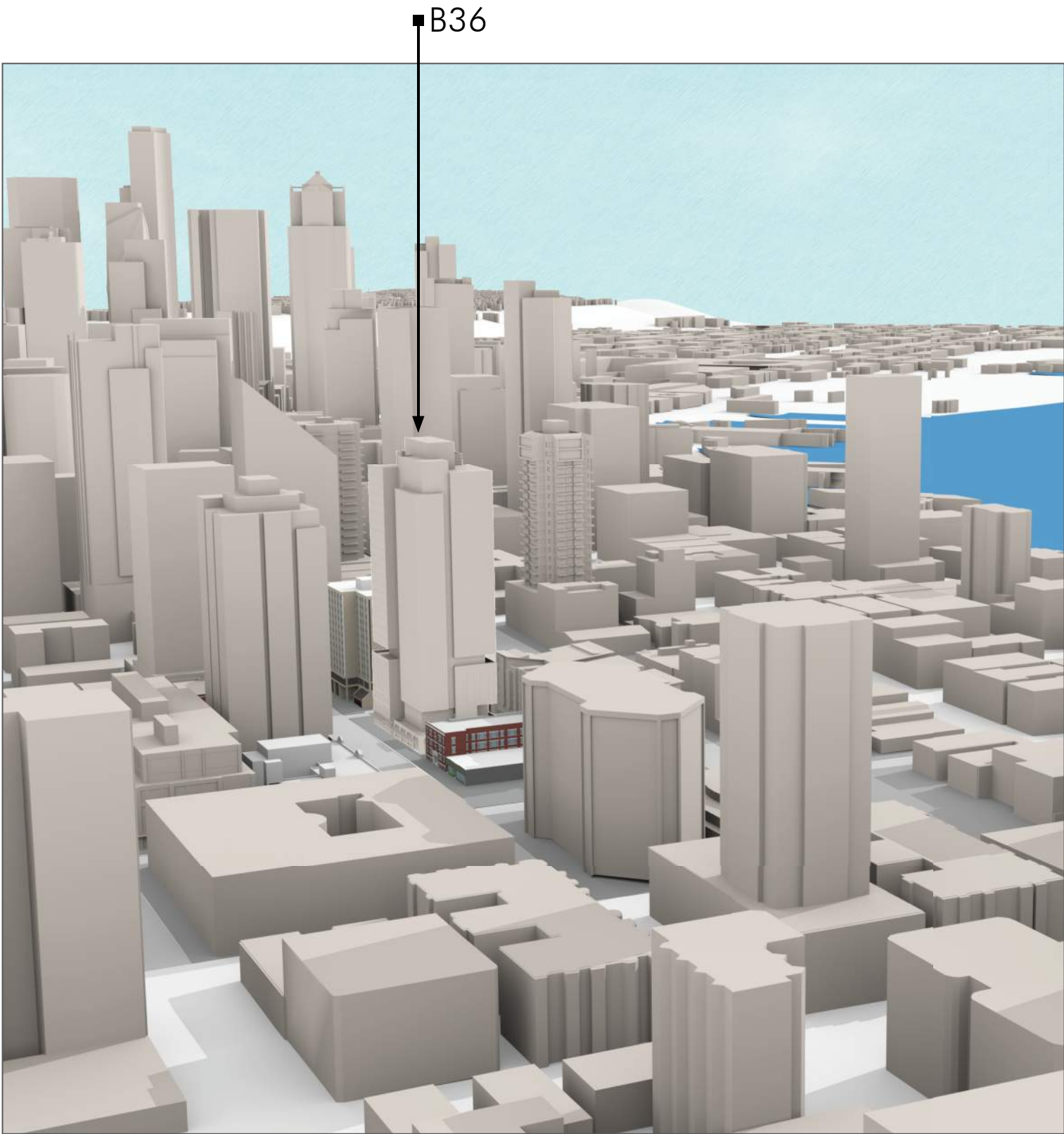
■ B36



Option 2: Study Request

Distant Tower Views

View from Space Needle Observation Deck



Option 3: Community Preferred

Option 1: Code Compliant



Shadow cast by only
Option 1: Code Compliant

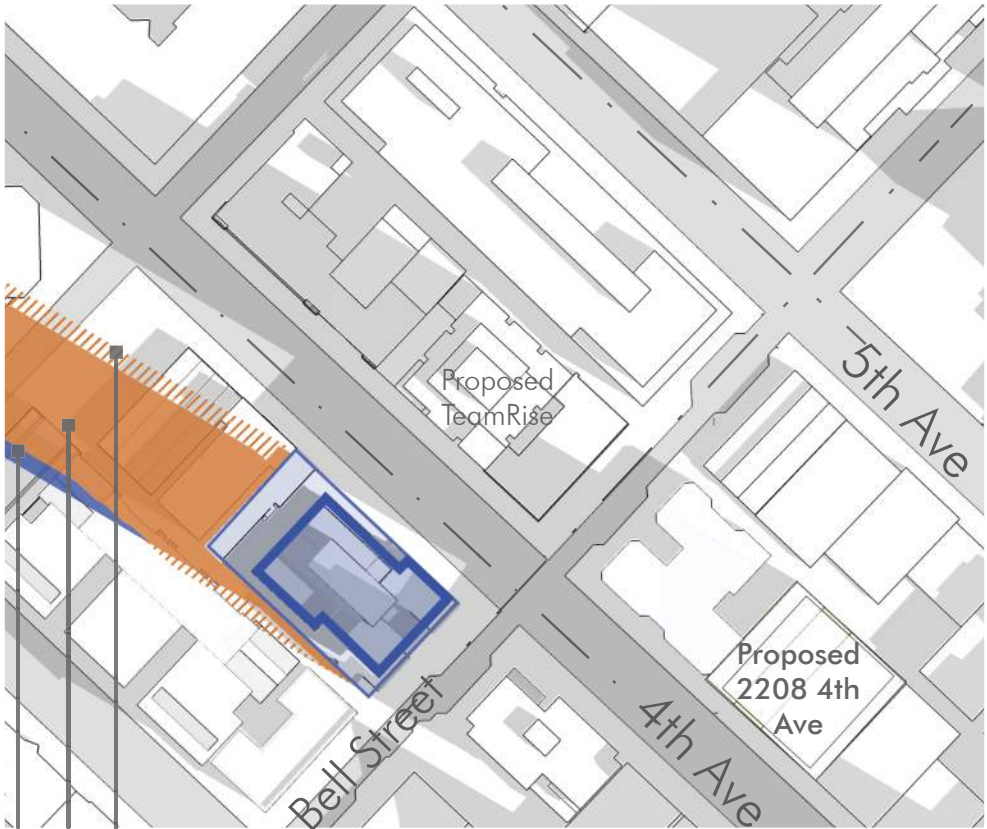
Option 2: Study Request



Combined shadow of
Option 1: Code Compliant
and Option 2: Study Request

Shadow cast by
Option 2: Study Request in excess
of Option 1 Code Compliant

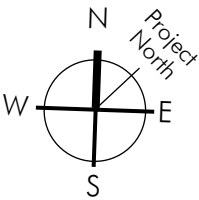
Option 3: Community Preferred



Shadow cast only by
Option 1: Code Compliant

Combined Shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

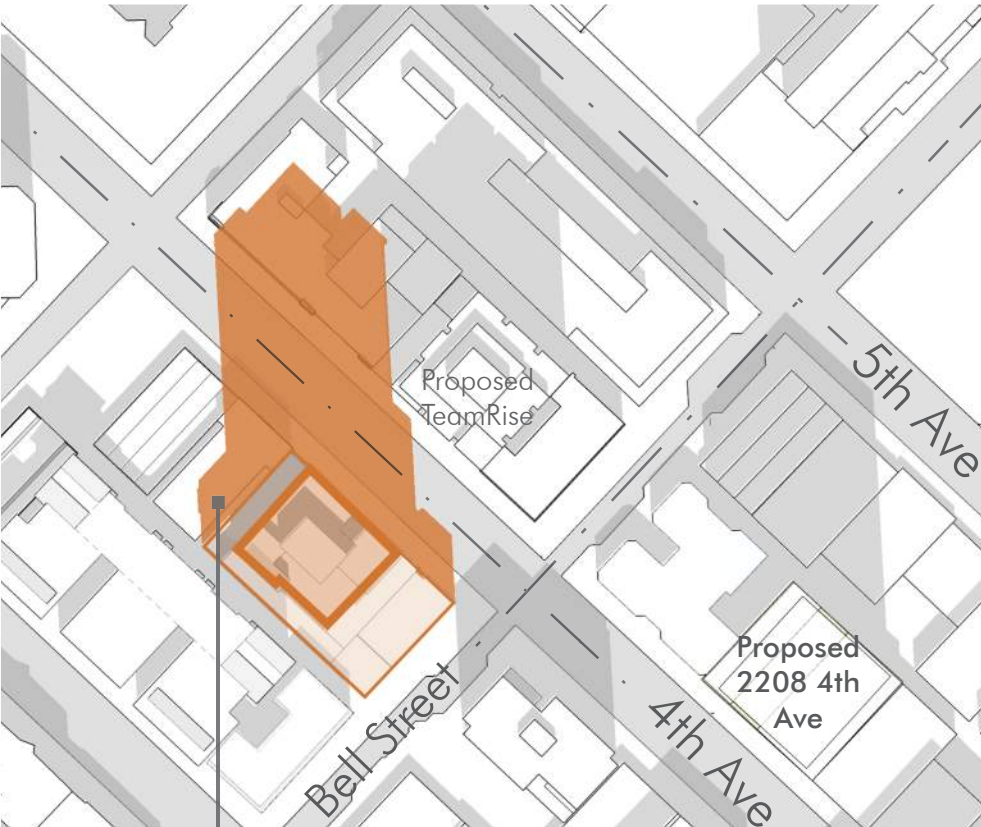
Shadow cast by Option 3:
Community Preferred in
excess of Option 1: Code
Compliant



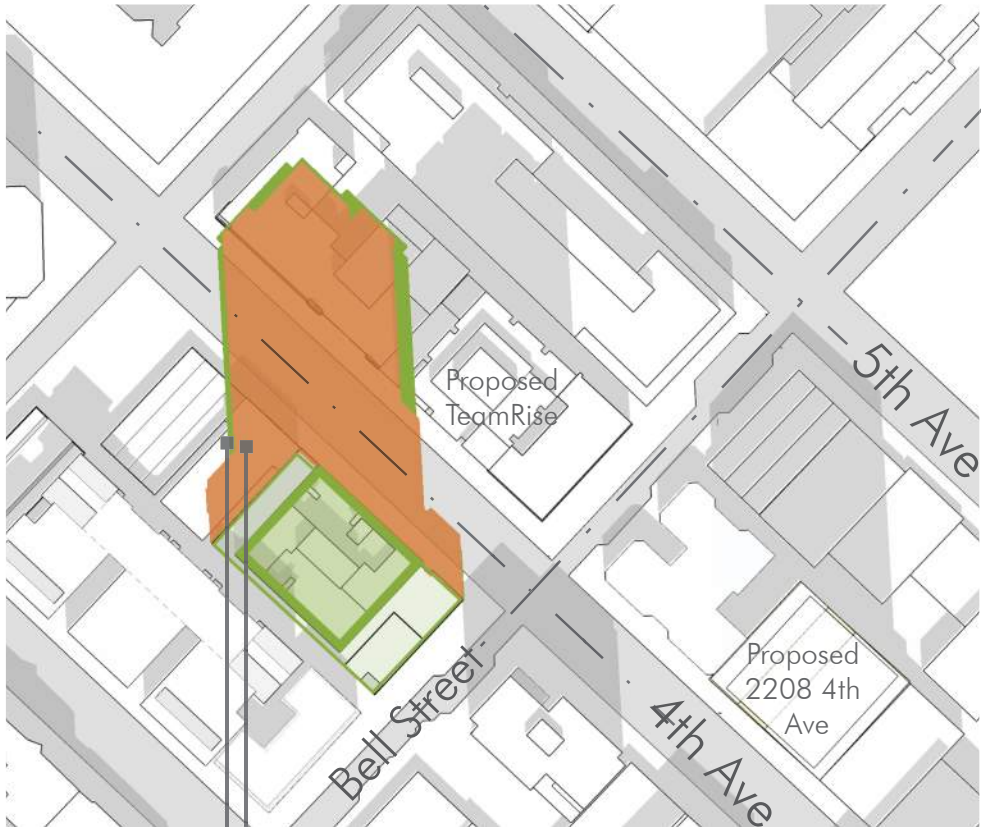
Shadow cast by Existing and
Proposed Adjacent Buildings

Tower Placement Sun Studies | March/Sept 21st at Noon

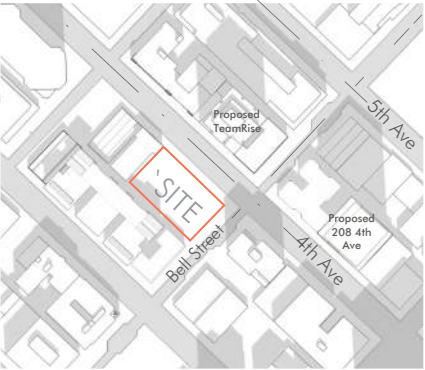
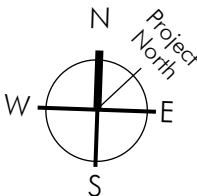
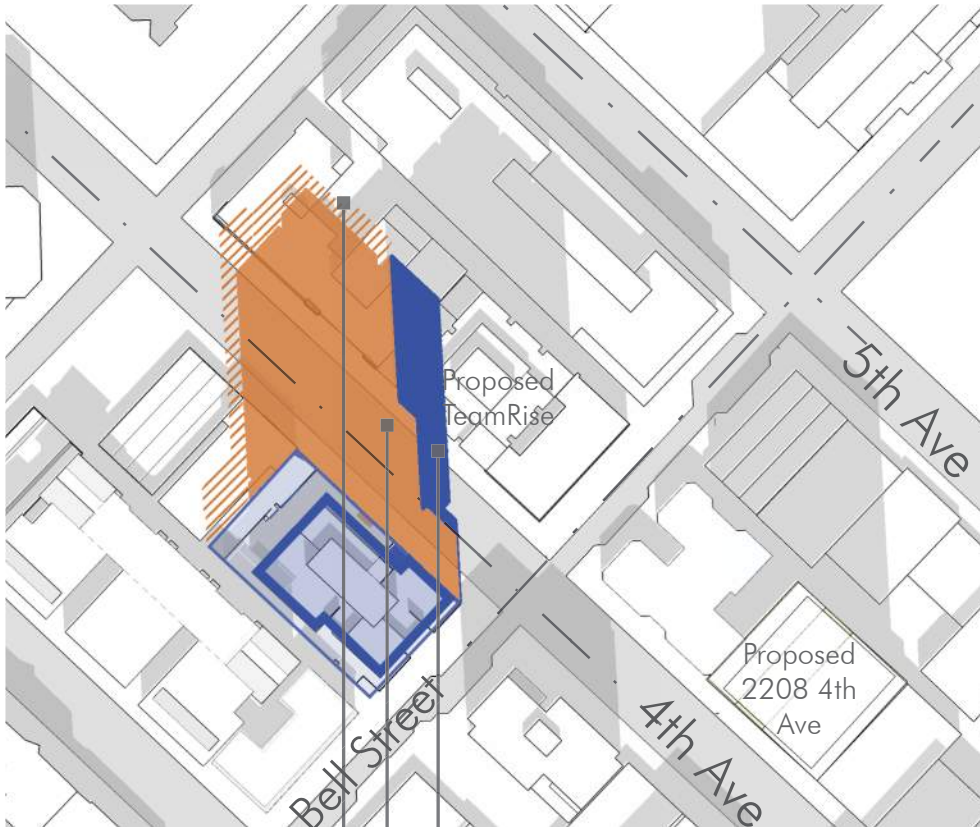
Option 1: Code Compliant



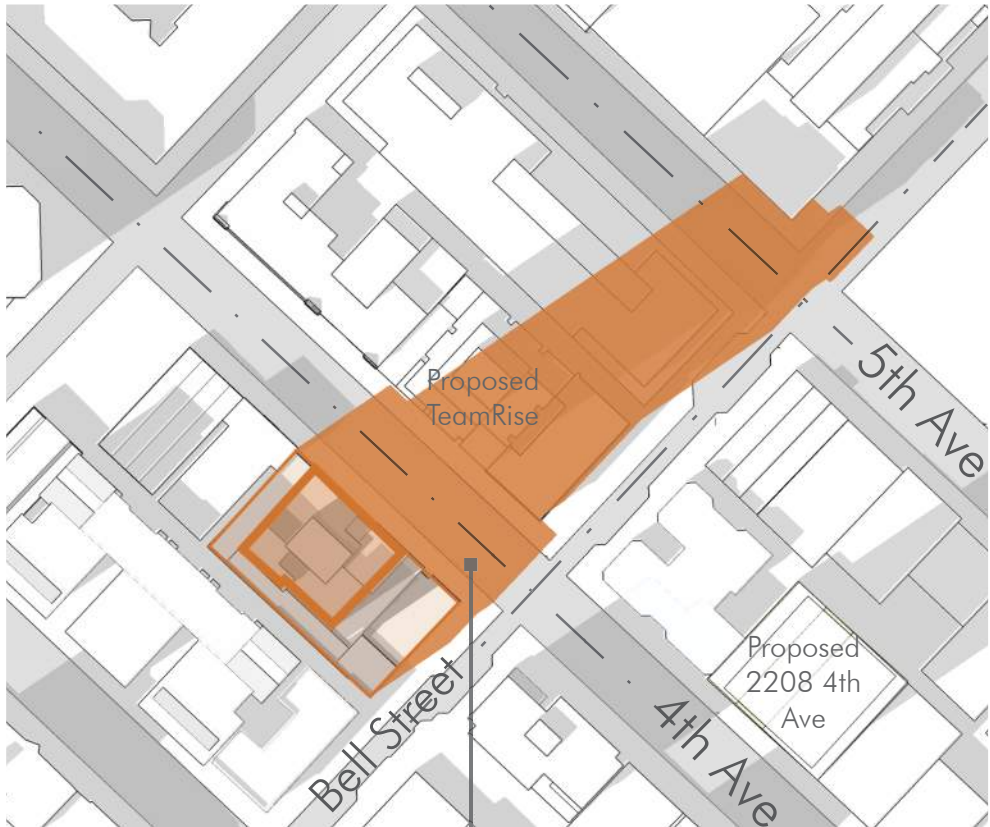
Option 2: Study Request



Option 3: Community Preferred

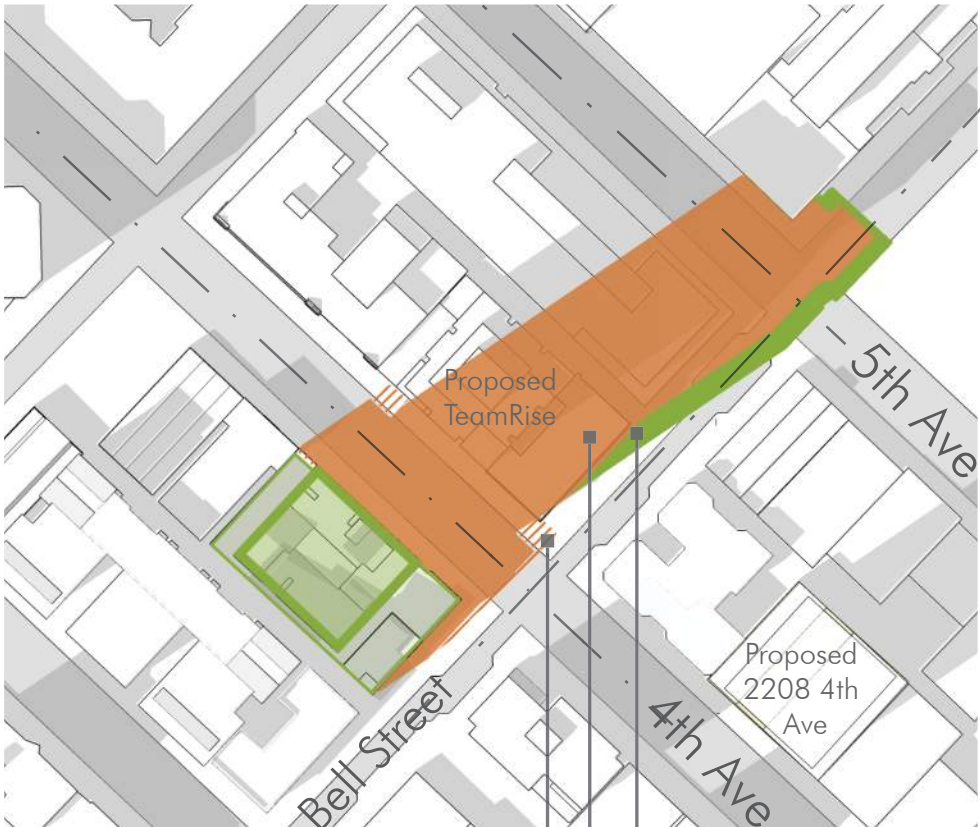


Option 1: Code Compliant



Shadow cast by only
Option 1: Code Compliant

Option 2: Study Request



Shadow cast only by
Option 1: Code Compliant

Combined shadow of
Option 1: Code Compliant
and Option 2: Study Request

Shadow cast by
Option 2: Study Request
in excess of Option 1: Code
Compliant

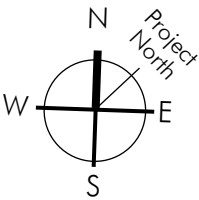
Option 3: Community Preferred



Shadow cast only by
Option 1: Code Compliant

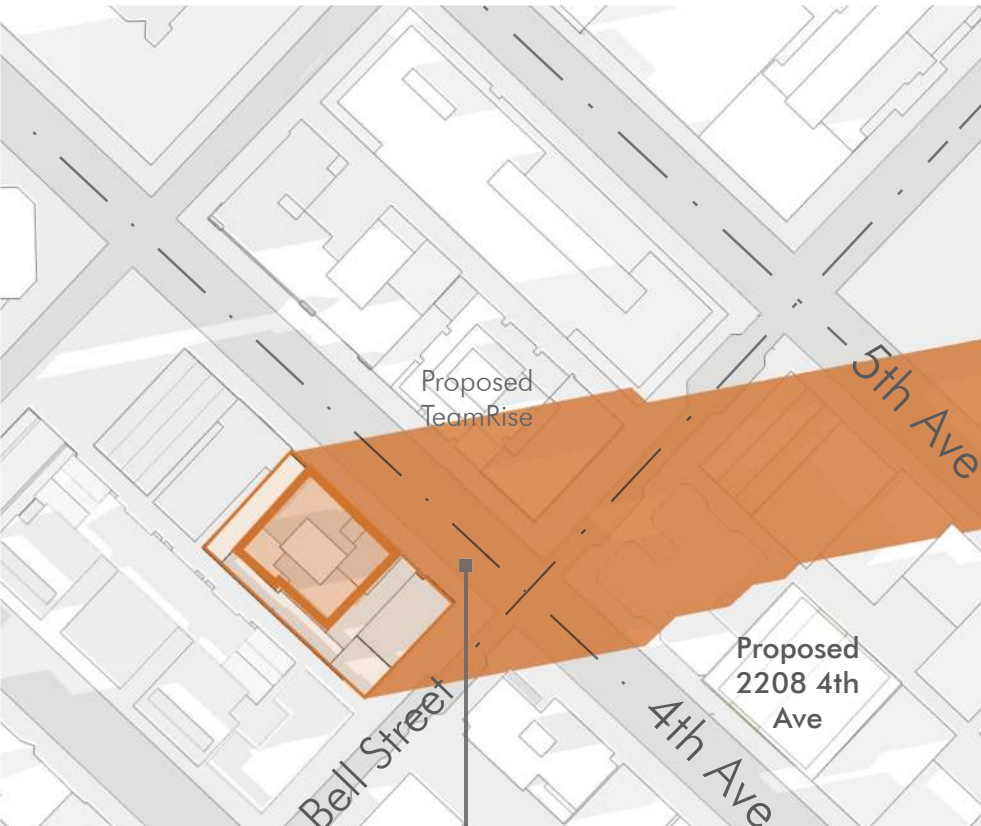
Combined shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by
Option 3: Community Preferred
in excess of Option 1: Code
Compliant



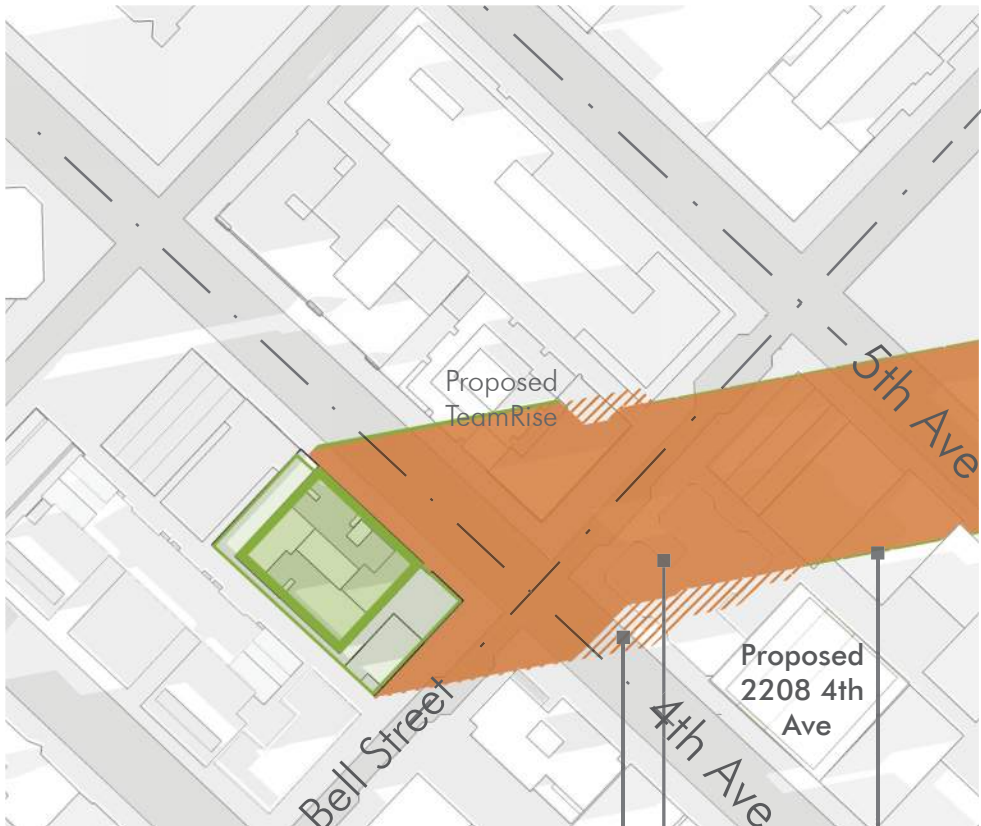
Shadow cast by Existing and
Proposed Adjacent Buildings

Option 1: Code Compliant



Shadow cast by only
Option 1: Code Compliant

Option 2: Study Request



Shadow cast only by
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Combined shadow of
Option 1: Code Compliant
and Option 2: Study Request

Shadow cast by
Option 2: Study Request
in excess of Option 1 Code
Compliant

Option 3: Community Preferred

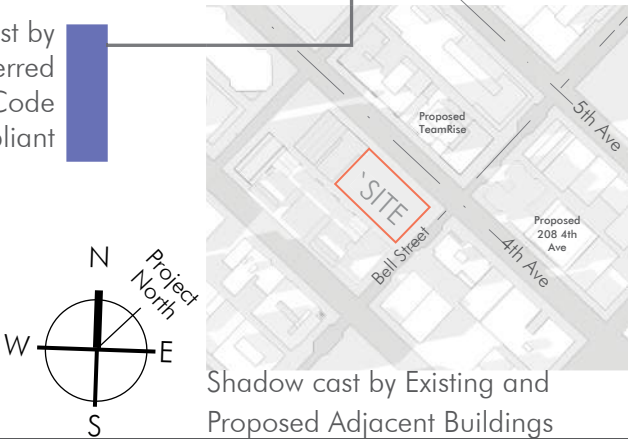


Shadow cast only by
Option 1: Code Compliant

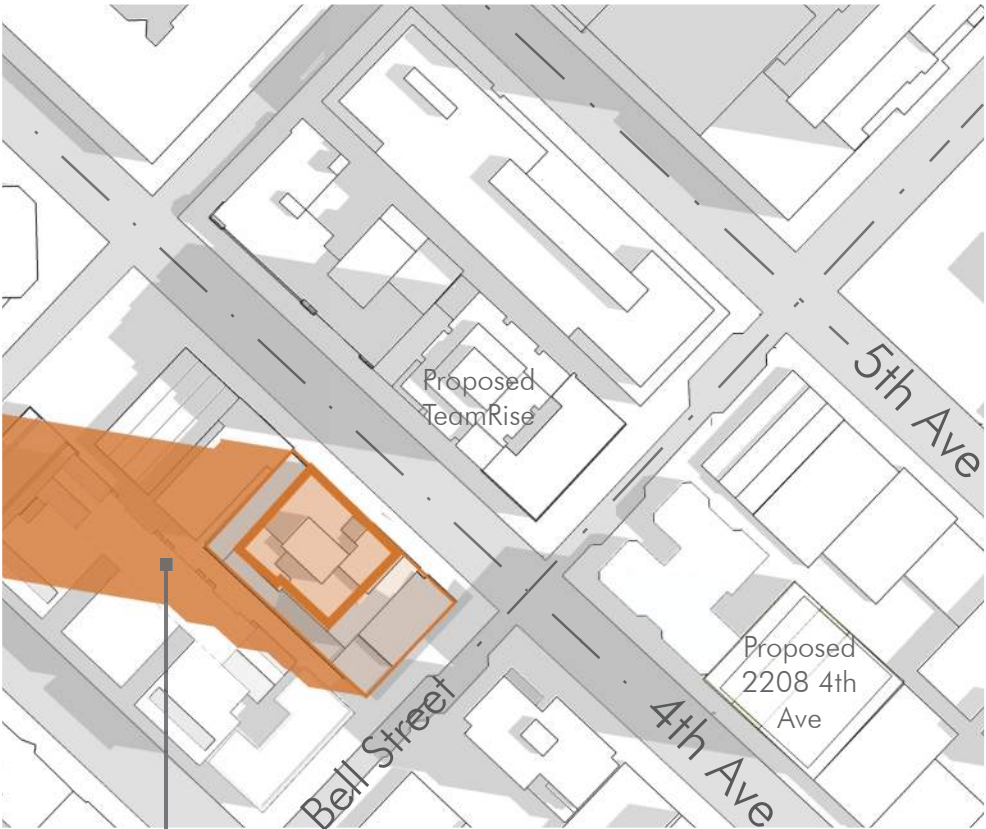
Combined shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by
Option 3: Community Preferred
in excess of Option 1: Code
Compliant

Low Angle Sun During Winter
Months Cast Larger Shadow Due
To Bulky 65'-85' Podium



Option 1: Code Compliant



Shadow cast by only
Option 1: Code Compliant

Option 2: Study Request



Combined shadow of
Option 1: Code Compliant
and Option 2: Study Request

Shadow cast by
Option 2: Study Request in excess
of Option 1 Code Compliant

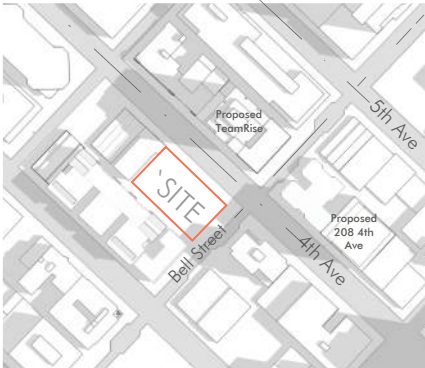
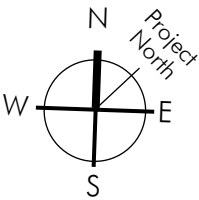
Option 3: Community Preferred



Shadow cast only by
Option 1: Code Compliant

Combined Shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by Option 3:
Community Preferred in
excess of Option 1: Code
Compliant



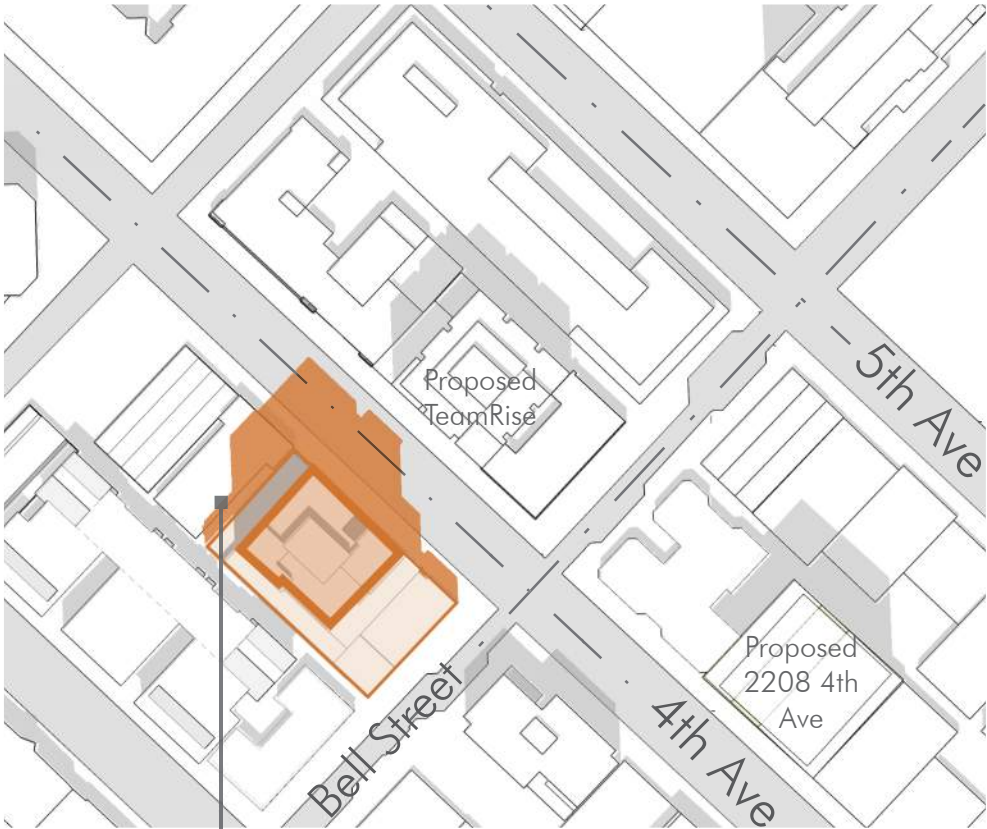
Shadow cast by Existing and
Proposed Adjacent Buildings

Tower Placement Sun Studies | June 21st at Noon

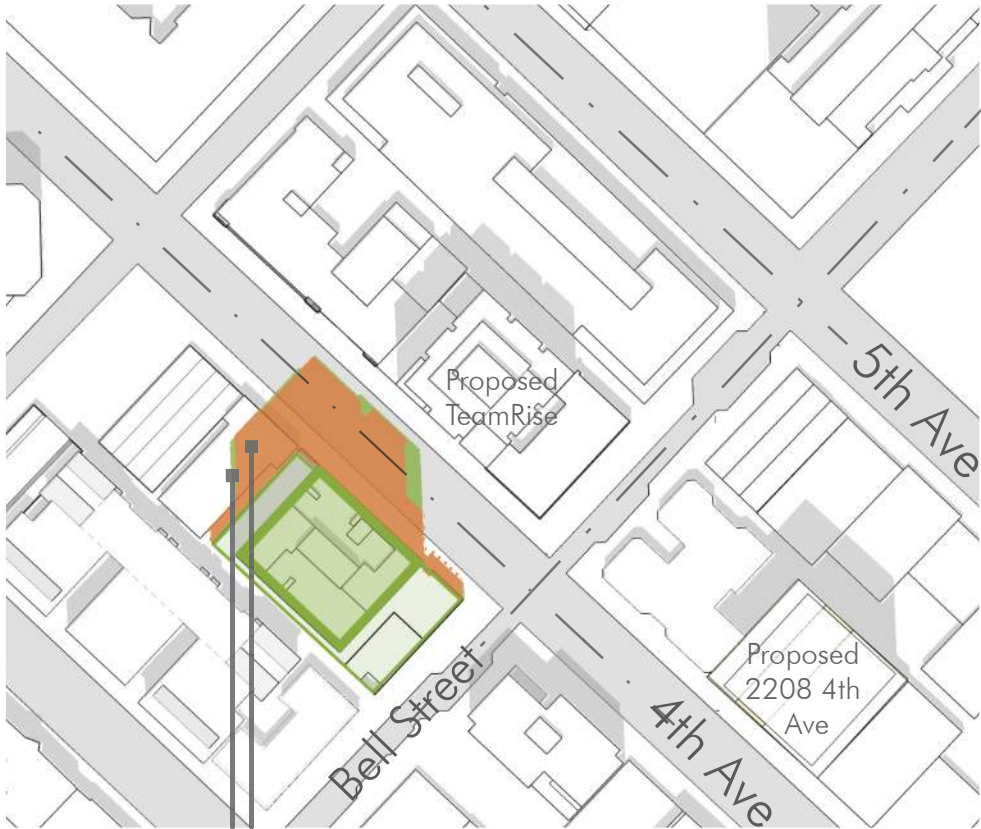
Option 1: Code Compliant

Option 2: Study Request

Option 3: Community Preferred

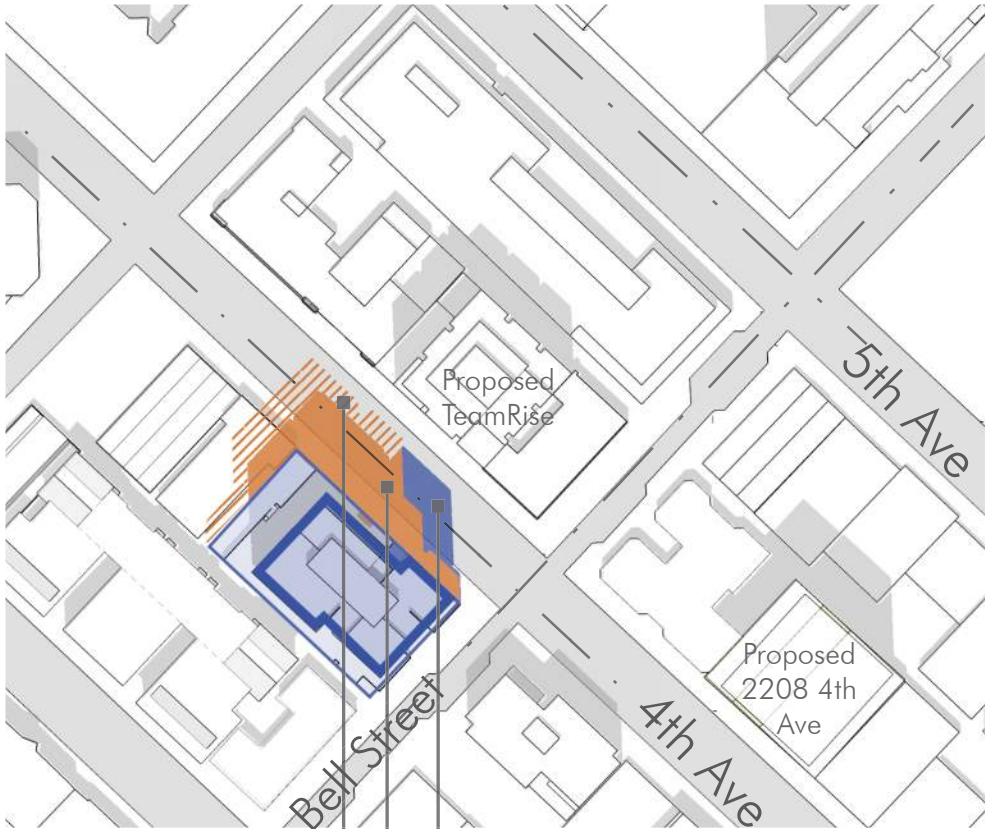


Shadow cast by only
Option 1: Code Compliant



Combined shadow of Option
1: Code Compliant and Option
2: Study Request

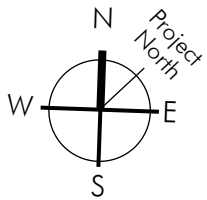
Shadow cast by
Option 2: Study Request in
excess of
Option 1: Code Compliant



Shadow cast only by
Option 1: Code Compliant

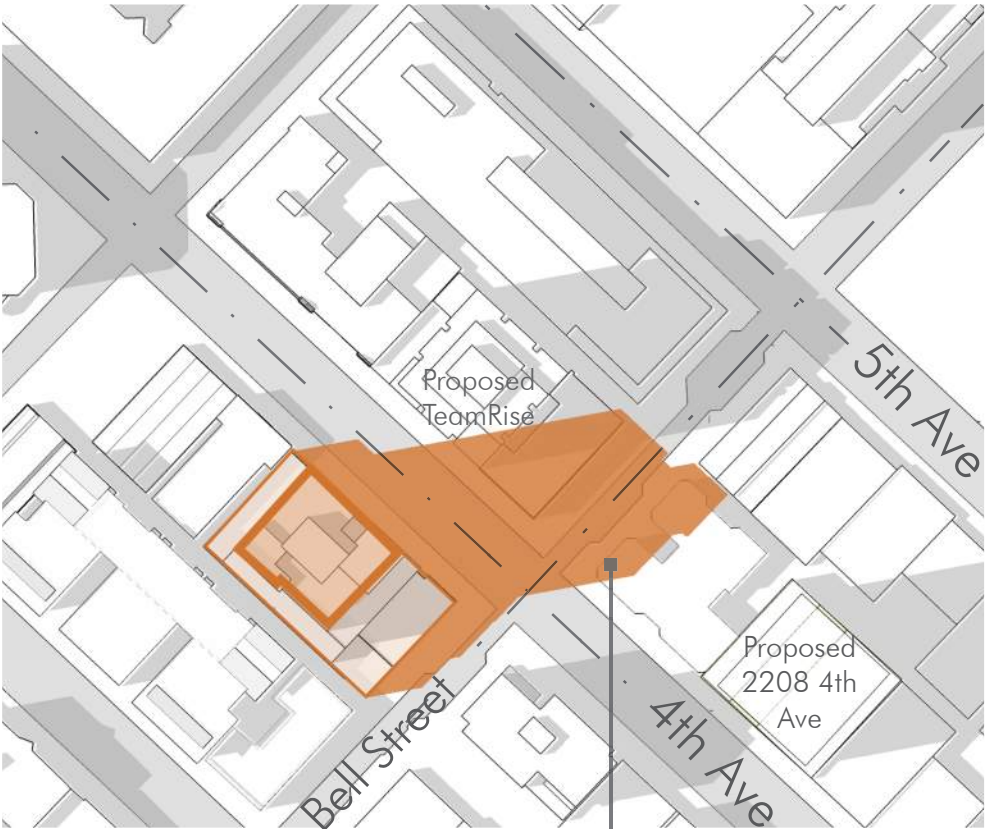
Combined Shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by
Option 3: Community Preferred
in excess of Option 1: Code
Compliant



Shadow cast by Existing and
Proposed Adjacent Buildings

Option 1: Code Compliant



Shadow cast by only
Option 1: Code Compliant

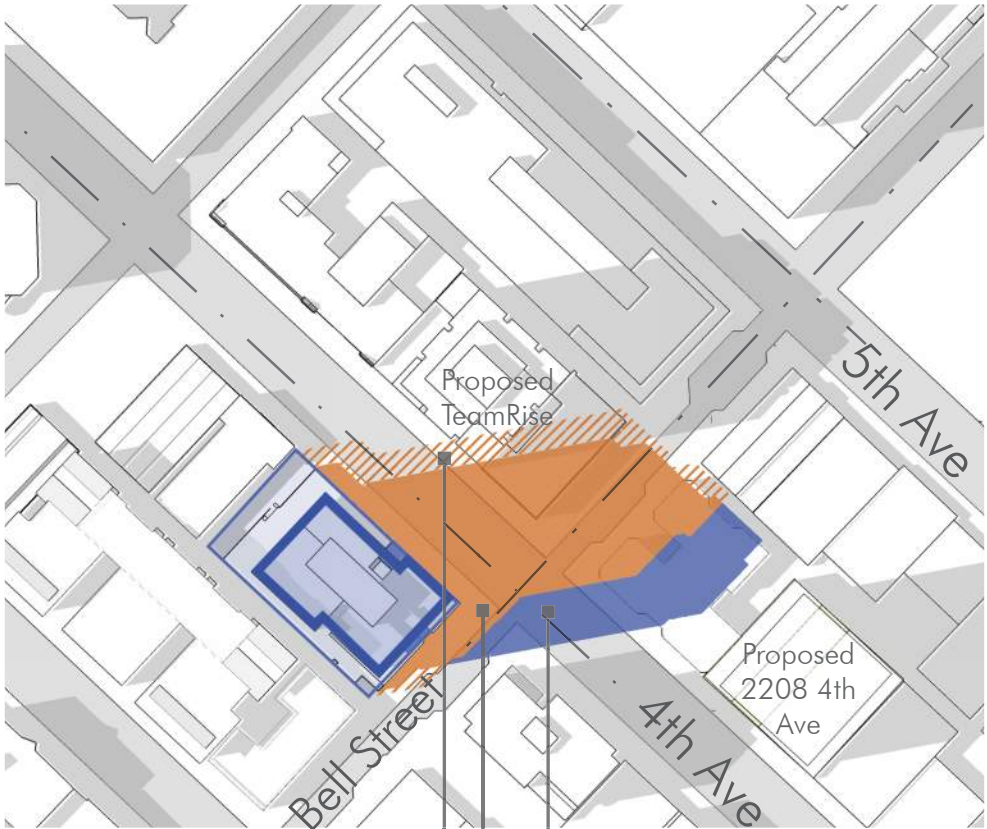
Option 2: Study Request



Combined shadow of
Option 1: Code Compliant
and Option 2: Study Request

Shadow cast by
Option 2: Study Request in excess
of Option 1 Code Compliant

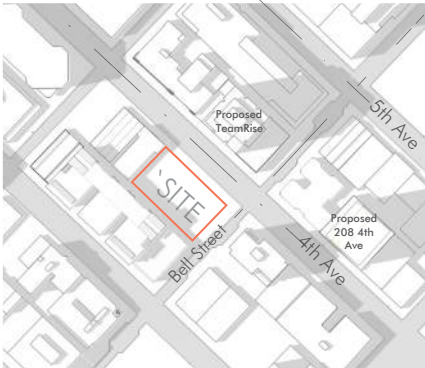
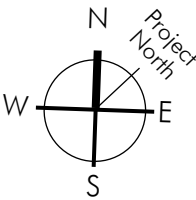
Option 3: Community Preferred



Shadow cast only by
Option 1: Code Compliant

Combined Shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by
Option 3: Community Preferred
in excess of Option 1: Code
Compliant

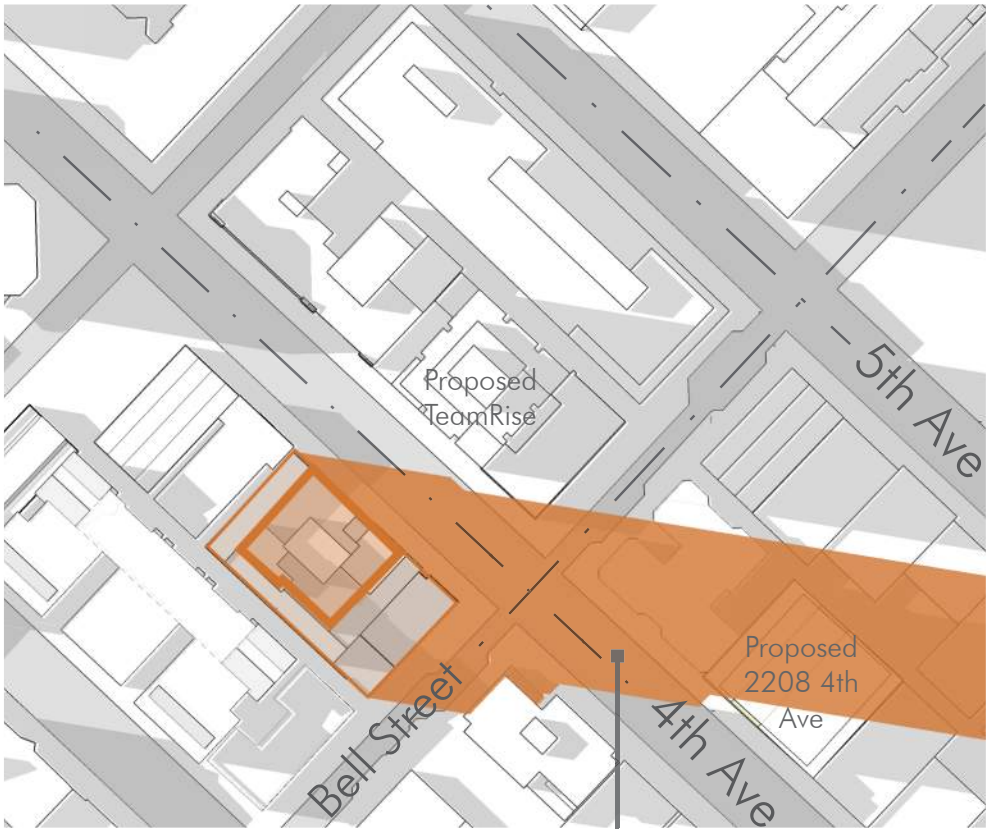


Shadow cast by Existing and
Proposed Adjacent Buildings

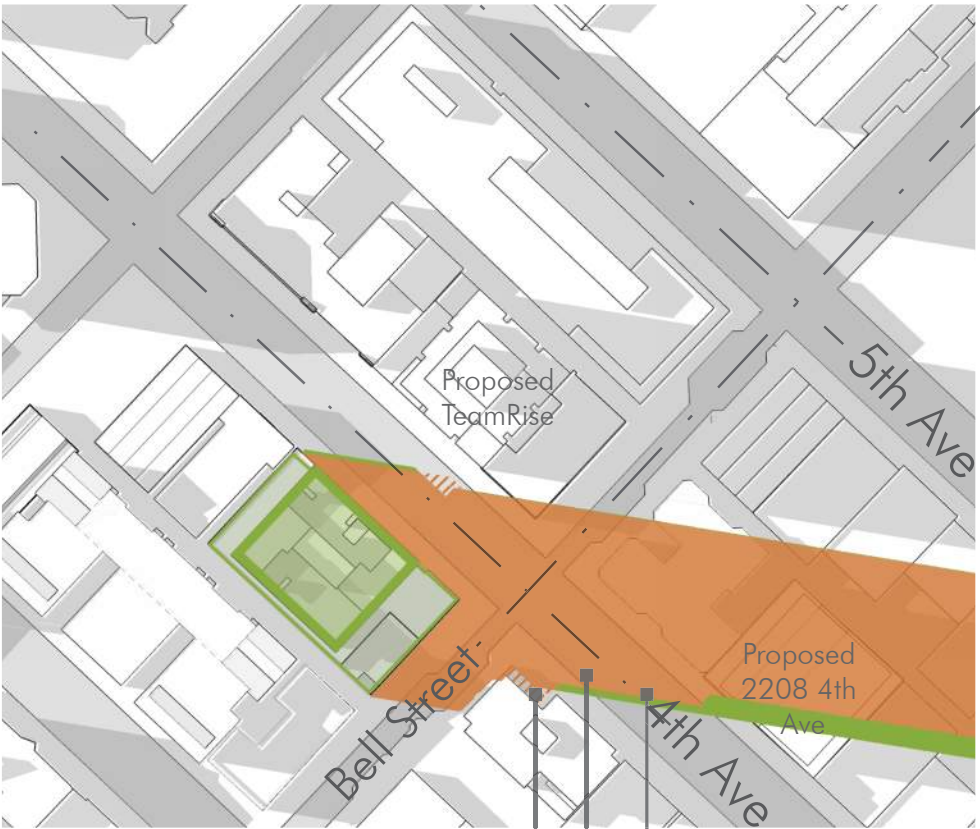
Option 1: Code Compliant

Option 2: Study Request

Option 3: Community Preferred



Shadow cast by only
Option 1: Code Compliant



Shadow cast only by
Option 1: Code Compliant

Combined shadow of Option
1: Code Compliant and Option
2: Study Request

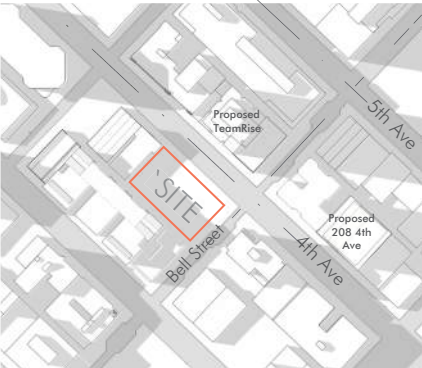
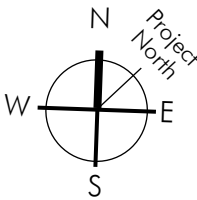
Shadow cast by
Option 2: Study Request in
excess of
Option 1: Code Compliant



Shadow cast only by
Option 1: Code Compliant

Combined Shadow of
Option 1: Code Compliant
and Option 3: Community
Preferred

Shadow cast by
Option 3: Community Preferred
in excess of Option 1: Code
Compliant

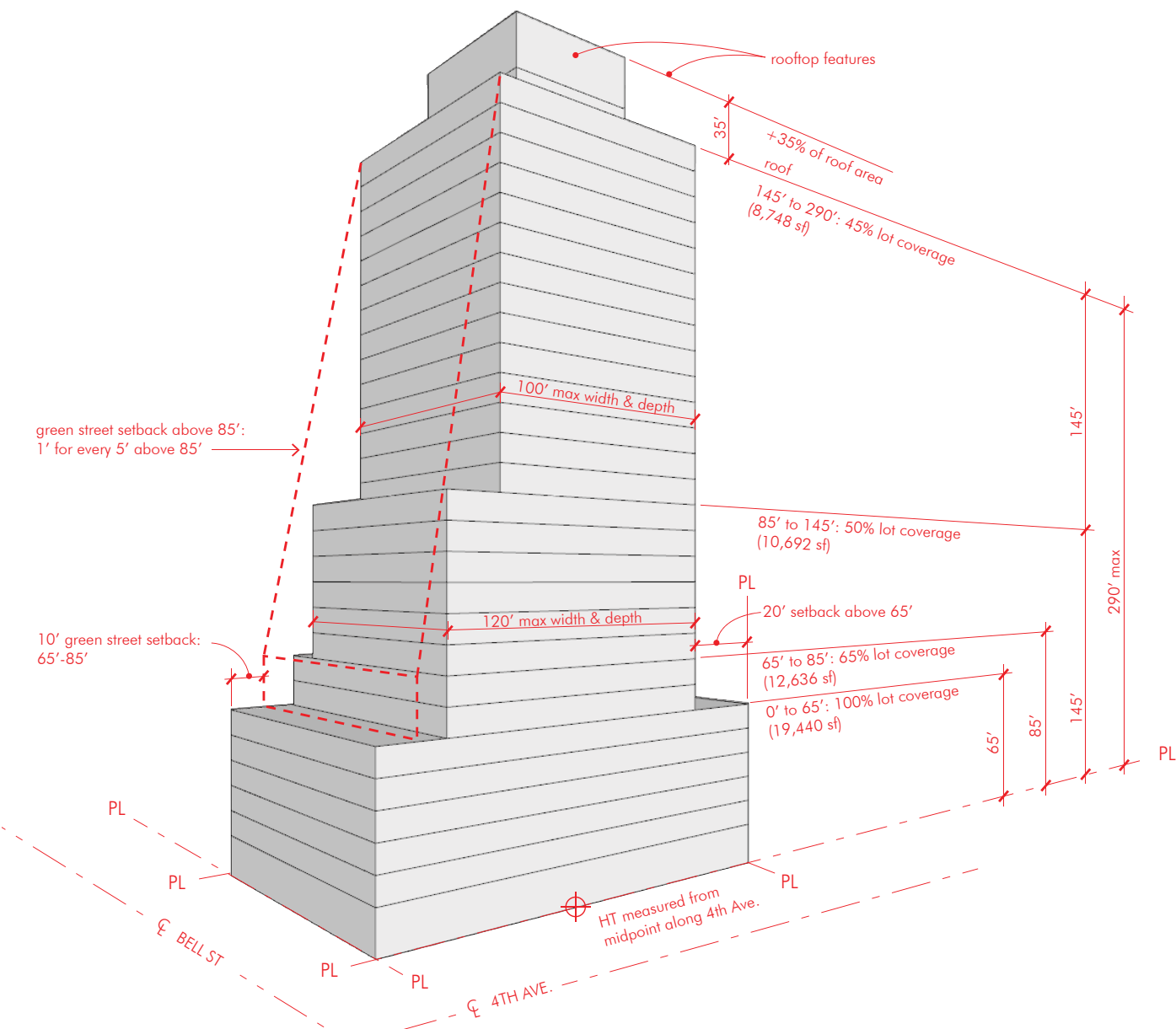


Shadow cast by Existing and
Proposed Adjacent Buildings

9.0 Departures

9.0 Departures

Diagram of Zoning Envelope



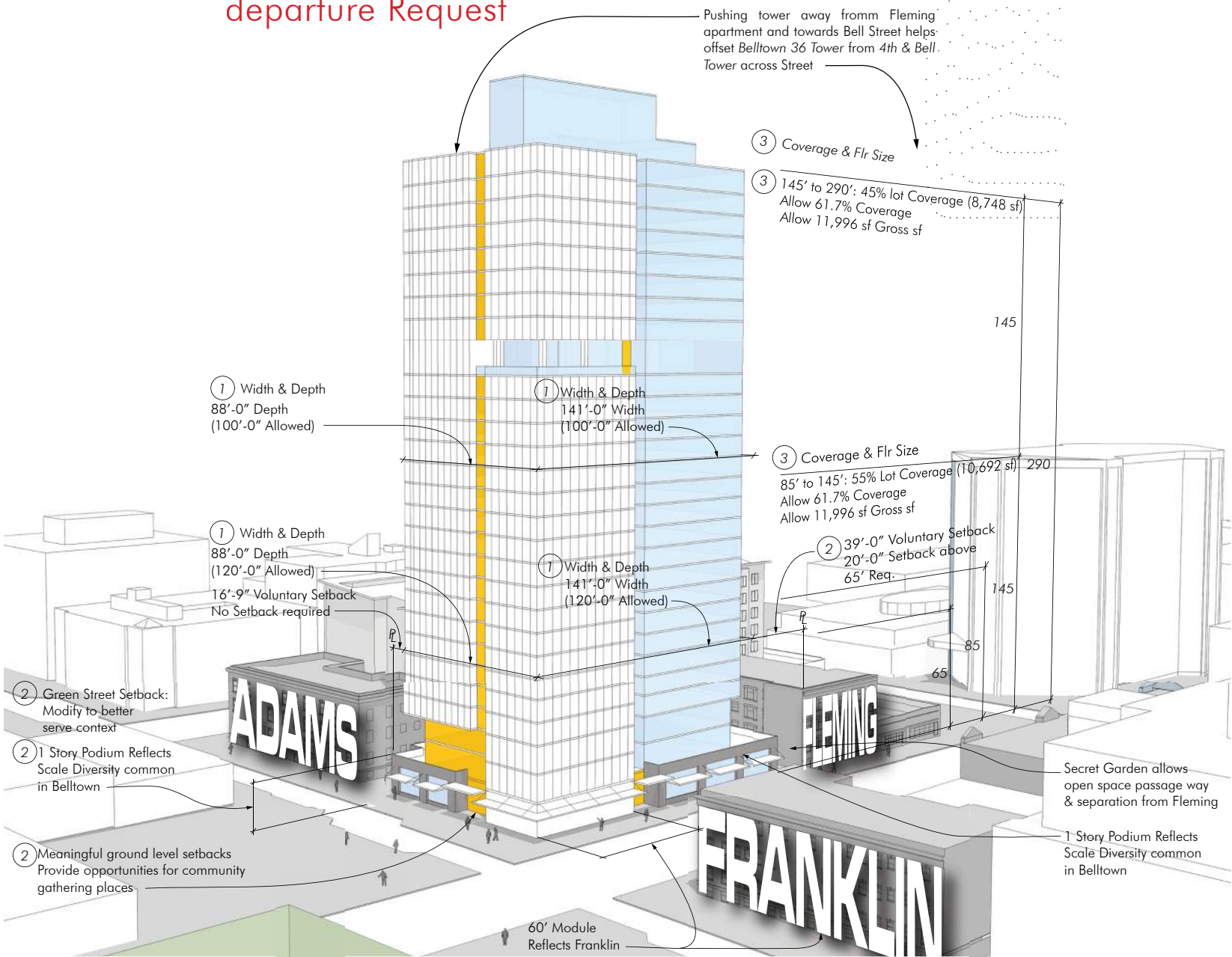
Seattle Land Use Code:

23.41.012 – Development standard departures

- Departure from Land Use Code requirements may be permitted for new multifamily, commercial, and Major Institution development as a part of a design review process. **Departures may be allowed if an applicant demonstrates that departures from Land Use Code requirements would result in a development that better meets the intent of adopted design guidelines.**

Summary of Requested Departures

From EDG #2 see following pages for updated departure Request



- # Rational For Bulk Departures:
- The three bulk departures are requested to serve the same purpose:
- Reduce the building bulk in the podium to better respond to the immediate context of existing residential structures, per design guidelines B-1, B-2, C-1 and D-1
 - Place the tower at the corner, as far away from the existing Adams and Fleming Apartments as possible, per design guidelines B-1 and B-2.
 - Building mass and lost residential units would be redistributed to the simpler, better proportioned tower portion, per design guidelines B-4

The above-ground building area will remain the same in the preferred option 3, as in the code compliant option.

Departure #1 - Maximum Width

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

A. Width and Depth Limits. Except as provided in subsections 23.49.164.B, 23.49.164.C, and 23.49.164.D, a maximum width and depth for the portion of a structure above 65 feet in height is established in Table A for 23.49.164, and this portion of the structure shall be separated horizontally from any other portion of a structure on the lot above 65 feet in height by at least 20 feet at all points. The maximum applies to the width and depth of portions of structures as measured parallel to any street lot line.

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1 - Maximum Width

Height	Bell Street			4th Ave		
	Allowed	Proposed	Delta	Allowed	Requested	
Feet	Feet	Feet	Delta	Feet	Feet	Delta
>145 (L29-L15)	100	100	0	100	116	16
65-145 (L14-L7)	120	100	-20	120	116	-4
<65 (L6-L5)	Site	100	-8	Site	116	-64
<65 (L4-L1)	Site	106	-2	Site	180	0

Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

- A1 Respond to the Physical Environment
- A2 Enhance the Skyline
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form and architectural attributes of the immediate area
- B4 Design a well-proportioned & unified building

Departure #2 - Green Street Set Back

23.49.166 - Downtown Mixed Residential, side setback and green street setback requirements

B. Green Street Setbacks. In DMR zones outside South Downtown, except in DMR/R 85/65 zones, a setback is required from the street lot line abutting a green street designated on Map 1B. The setback shall be as follows:

1. Ten feet for portions of structures above 65 feet in height to a maximum of 85 feet; and
2. For each portion of a structure above 85 feet in height, an additional setback is required at a rate of one foot of setback for every five feet that the height of such portion exceeds 85 feet.

Departure Request #2 -Green Street Set Back

Total Green Street Setback From Bell @ 290' = 51'-0"

Request :
Reduce Green Street Setback @ 290ft (by 7'-0")
Allow 44'-0" total Green Street Setback from Bell Street.

Rationale & Guidelines

Recognize the site is on the NW side of the Green Street and casts little shade on the Green Street.
Allow the Green Street Setbacks to be modified to better serve the immediate context, the pedestrian experience, and the existing adjacent affordable housing.

- A1 Respond to the Physical Environment
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form and architectural attributes of the immediate area
- C2: Design facades of many scales

Departure #3 - Lot Coverage

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

C. Coverage

1. Portions of structures above 65 feet shall not exceed the coverage limits in Table A for 23.49.158:

TABLE A for 23.49.158

Percent coverage permitted by lot size

Height of Portion of Structure (in feet)	19,001 - 25,000 Square Feet
65 or less	100%
Greater than 65 up to 85	65%
Greater than 85 up to 145	55%
Greater then 145 up to 280	45%

Departure Request #3 - Lot Coverage

Site Area	Allowed		Requested		
	%	SF	%	SF	Delta
19,440					
<65 (L1-L3)	100%	19,440	96%	18,621	-819
<65 (L4)	100%	19,440	87%	16,887	-2553
<65 (L5)	100%	19,440	51%	9,890	-9550
<65 (L6)	100%	19,440	55%	10,690	-8,750
65-85 (L7)	65%	12,636	55%	10,690	-1,946
65-85 (L8)	65%	12,636	55%	10,690	-1,946
85-145	55%	10,692	55%	10,690	0
>145	45%	8,748	55%	10,690	1,991

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light, air and visibility.
Place the housing in the tower where it is better suited.

- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form
- B4 Design a well-proportioned & unified building

Departure #4 - Floor Size

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

- B. Story Size
- Each story in portions of structures above 145 feet shall have a maximum gross floor area of 8,800 square feet.

Departure Request #4 - Floor Size

Allowed	Requested	
SF	SF	% Increase
8,800	10,690	21%

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light/air and produces a better more well-proportioned tower.

- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B4 Design a well-proportioned & unified building

Departure #5 - Overhead Weather Protection

23.49.018 - Overhead Weather Protection and Lighting.

- A.
- Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:
1.

Are located farther than five (5) feet from the street property line or widened sidewalk on private property; or
2.

Abut a bonused open space amenity feature; or
3.

Are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or
4.

Are driveways into structures or loading docks.

Departure Request #5 -

Allow some canopies to not be continuous. Those areas will be defined at the recommendation meeting.

Rationale & Guidelines

Those areas will be defined at the recommendation meeting.

Departure Request Summary

Departures 1 through 4 are all requested to serve the same purpose:

- Reduce the building bulk in the podium to better respond to the immediate context of existing residential structures, per design guidelines B-1, B-2, C-1 and D-1
- Place the tower at the corner, as far away from the existing Adams and Fleming Apartments as possible, per design guidelines B-1 and B-2.
- Building mass and lost residential units would be redistributed to the simpler, better proportioned tower portion, per design guidelines B-4

Departure Request #1 - Max Width

Option 2: Study Request

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1 - Maximum Width

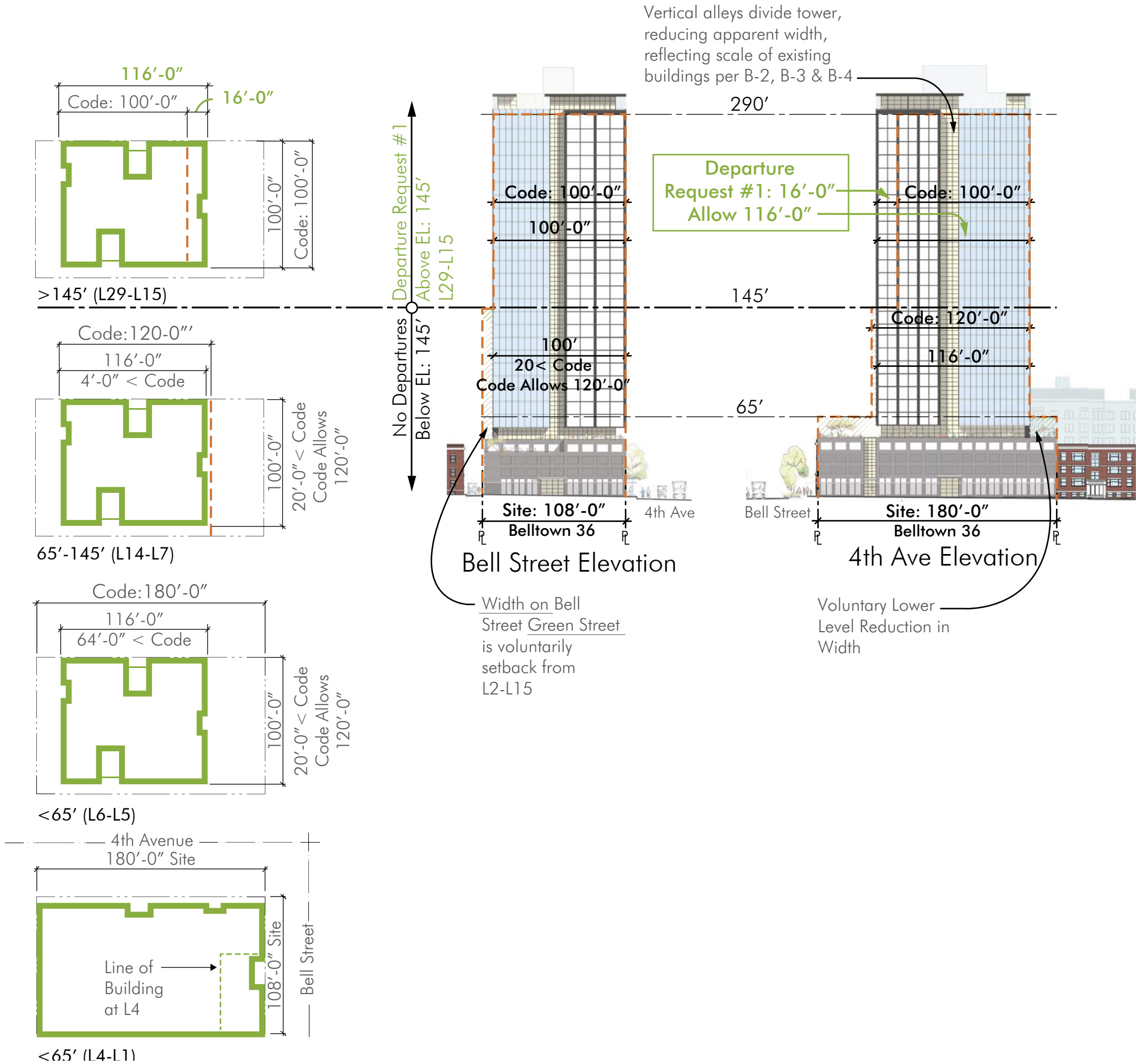
Height Feet	Bell Street			4th Ave		
	Allowed Feet	Proposed Feet	Delta	Allowed Feet	Requested Feet	Delta
>145 (L29-L15)	100	100	0	100	116	16
65-145 (L14-L7)	120	100	-20	120	116	-4
<65 (L6-L5)	Site	100	-8	Site	116	-64
<65 (L4-L1)	Site	106	-2	Site	180	0

Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer 4th Avenue.

Voluntary lower level setbacks that establish the 4-story podium reinforce the regulating horizontal lines of adjacent 3 1/2 historic brick buildings **per A1-c**, and allow for a transition in scale between the tower and podium, **per B2**. This larger podium with an offset tower is a common vernacular in Belltown (**A1-c**). Shifting the mass away from the Bell Street Green Street at lower levels and into the tower promotes pedestrian interaction (**D1**), while significant Green Street setbacks (starting 20' closer to grade than required by code) in the tower prioritizes the park's access to light and air (**A1-d**), further activating the street level. In addition, by building close to the developable site potential it helps respond to the future of a growing Seattle, **per A1 appendix**.

The significant vertical articulation (vertical alleys) simplify the tower into slender simple building forms (**B4**). These distinct building forms create unique but complimentary masses and the appearance of a tower composed of multiple separate smaller buildings populating the skyline and minimizing the overall perception of width of the tower (**A2**).



Departure Request #2 - Green Street Setback

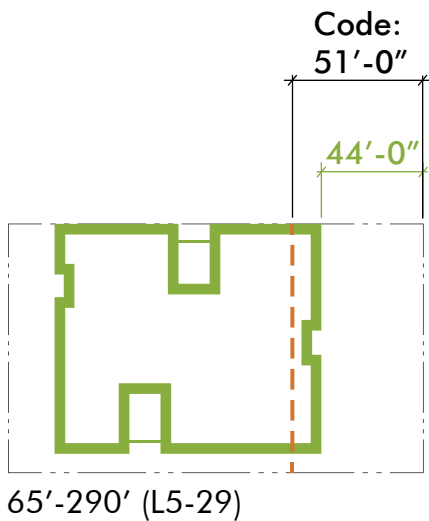
Option 2: Study Request

23.49.166 - Downtown Mixed Residential, side setback and green street setback requirements

Departure Request #2 -Green Street Set Back

Total Green Street Setback From Bell @ 290' = 51'-0"

Request :
Reduce Green Street Setback @ 290ft (by 7'-0")
Allow 44'-0" total Green Street Setback from Bell Street.



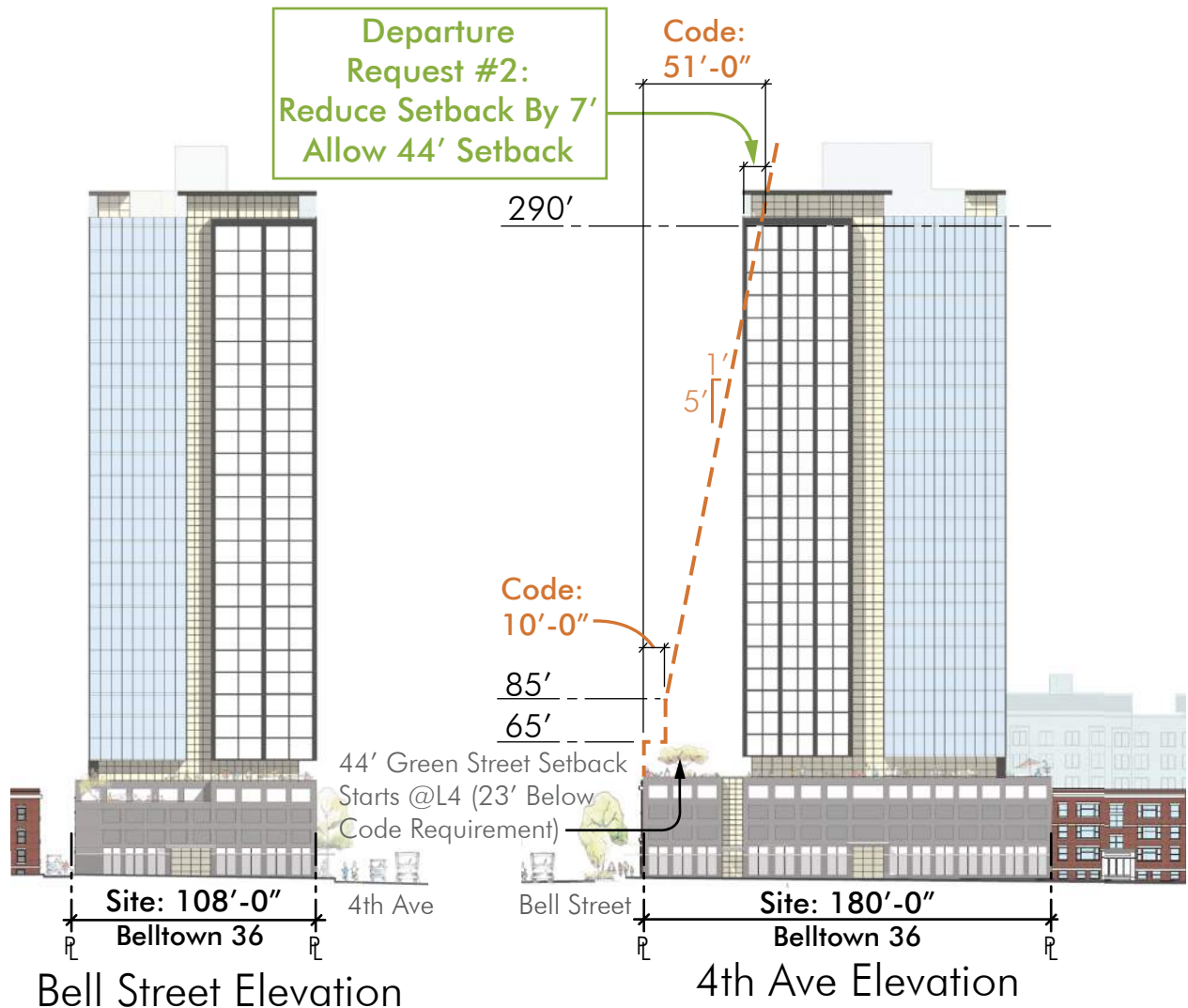
Rationale & Guidelines

Recognize the site is on the NW side of the Green Street and casts little shade on the Green Street.

Allow the Green Street Setbacks to be modified to better serve the immediate context, the pedestrian experience, and the existing adjacent affordable housing.

- A1 Respond to the Physical Environment
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form and architectural attributes of the immediate area
- C2: Design facades of many scales

Following the pattern of 3.5-story buildings set in the surrounding fabric with a 4-story, full-site podium with open space on the 4th floor along the Bell Street Green Street, option 2 provides significant Green Street Setbacks & exceeds the intent of the code.



Departure Request #4 - Floor Size

Option 2: Study Request

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

Departure Request #4 - Floor Size

Allowed	Requested	
SF	SF	% Increase
8,800	10,690	21%

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light/air and produces a better more well-proportioned tower.

- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B4 Design a well-proportioned & unified building

Reducing the building bulk in the podium to better respond to the immediate context of existing residential structures, Place the tower at the corner, as far away from the existing Adams and Fleming Apartments as possible, and to redistribute the mass removed in the podium into a better proportioned unified tower. The shifted square footage from the lower podium levels to the tower levels has huge and meaningful positive benefit to the street life and pedestrian environment and minimal change to the presentation of the towers mass.

Option 2: Study Request

Total GSF = 346, 083 SF



> 145' (L29-L15)

48 % of GSF Above 145'

52 % of GSF Below 145'



Option 1: Code Compliant

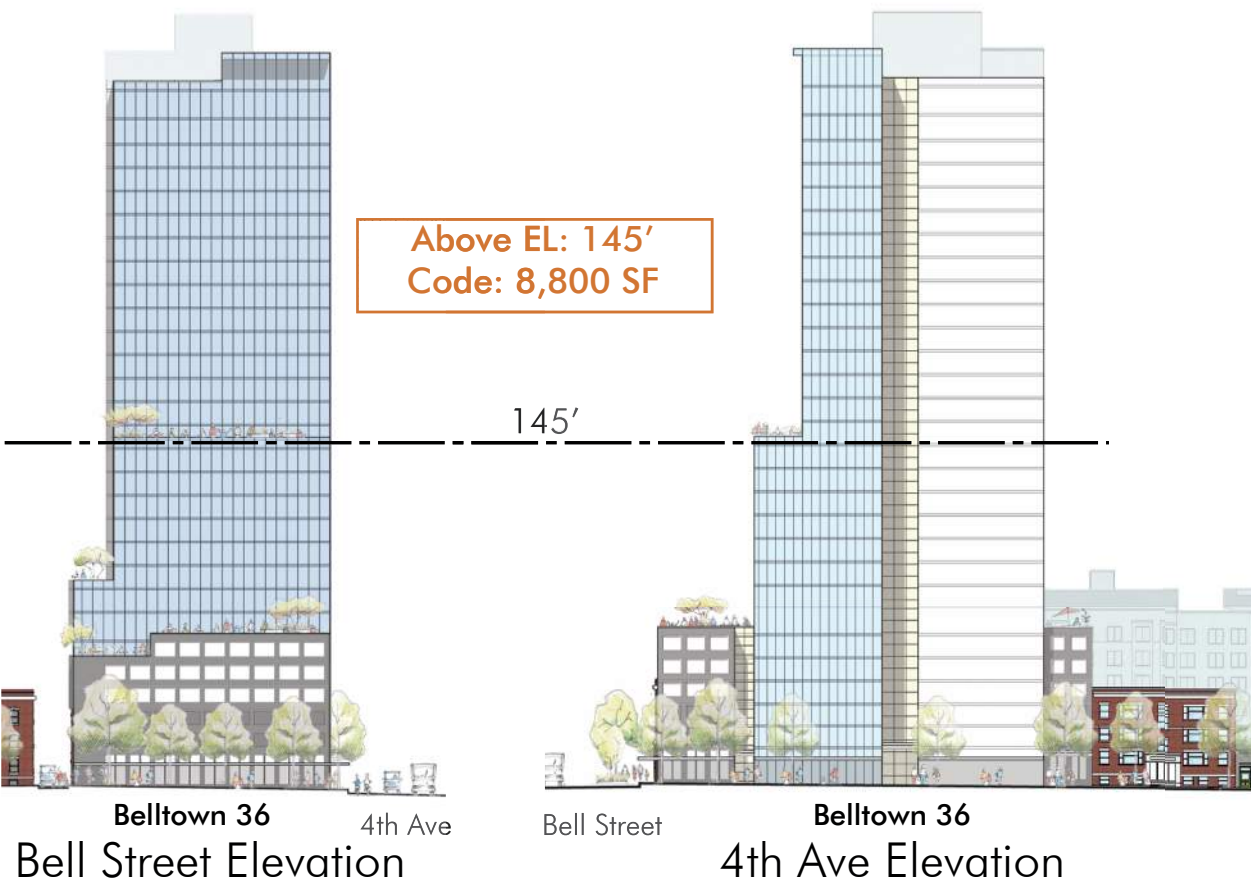
Total GSF = 342,653 SF



> 145' (L29-L15)

40 % of GSF Above 145'

60 % of GSF Below 145'



Departure #1 - Maximum Width

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

A. Width and Depth Limits. Except as provided in subsections 23.49.164.B, 23.49.164.C, and 23.49.164.D, a maximum width and depth for the portion of a structure above 65 feet in height is established in Table A for 23.49.164, and this portion of the structure shall be separated horizontally from any other portion of a structure on the lot above 65 feet in height by at least 20 feet at all points. The maximum applies to the width and depth of portions of structures as measured parallel to any street lot line.

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1A - Maximum Width

Height	Bell Street			4th Ave		
	Allowed	Proposed		Allowed	Requested	
Feet	Feet	Feet	Delta	Feet	Feet	Delta
>145 (L28-L28)	100	86	-14	100	130	30

Departure Request #1B - Maximum Width

Height	Allowed	Proposed		Allowed	Requested	
Feet	Feet	Feet	Delta	Feet	Feet	Delta
>145 (L26-L14)	100	88	-12	100	134	34

Departure Request #1C - Maximum Width

Height	Allowed	Proposed		Allowed	Requested	
Feet	Feet	Feet	Delta	Feet	Feet	Delta
65-145 (L13-L8)	120	88	-32	120	134	14

Departure Request #1D - Maximum Width

Height	Allowed	Proposed		Allowed	Requested	
Feet	Feet	Feet	Delta	Feet	Feet	Delta
65-145 (L7-L6)	120	88	-32	120	141	41
<65 (L5-L2)	Site	88	-20	Site	141	-39
<65 (L1)	Site	106	-0	Site	160	-20

Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

- A1 Respond to the Physical Enviornment
- A2 Enhance the Skyline
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form
- B4 Design a well-proportioned & unified building (Downtown Guideline)

Departure #2 - Green Street Set Back

23.49.166 - Downtown Mixed Residential, side setback and green street setback requirements

B. Green Street Setbacks. In DMR zones outside South Downtown, except in DMR/R 85/65 zones, a setback is required from the street lot line abutting a green street designated on Map 1B. The setback shall be as follows:

1. Ten feet for portions of structures above 65 feet in height to a maximum of 85 feet; and
2. For each portion of a structure above 85 feet in height, an additional setback is required at a rate of one foot of setback for every five feet that the height of such portion exceeds 85 feet.

Departure Request #2 -Green Street Set Back

Green Street Set-Back	Code	Option 1	Option 3
	FT	FT	FT
Average Per Floor	27	52	33

Rationale & Guidelines

- C1 Promote Pedestrian Interaction
- C6 Develop the Alley Façade
- D1 Provide Public Amenities
- D2 Enhance the Building with landscape
- D3 Provide Elements that define space

Departure #3 - Lot Coverage

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

C. Coverage

1. Portions of structures above 65 feet shall not exceed the coverage limits in Table A for 23.49.158:

TABLE A for 23.49.158

Percent coverage permitted by lot size

Height of Portion of Structure (in feet)	19,001 - 25,000 Square Feet
65 or less	100%
Greater than 65 up to 85	65%
Greater than 85 up to 145	55%
Greater then 145 up to 280	45%

Departure Request #3A - Lot Coverage

Site Area	Allowed		Requested		
19,440	%	SF	%	SF	Delta
>145 (L28-L14)	45%	8,748	61%	11,928	3,180

Departure Request #3B - Lot Coverage

Site Area	Allowed		Requested		
19,440	%	SF	%	SF	Delta
>145 (L28-L14)	45%	8,748	61%	11,928	3,180
85-145 (L13-L9)	55%	10,692	61%	11,928	1,236
85-145 (L8)	55%	10,692	49%	9,473	-1,219
65-85 (L7-L6)	65%	12,636	61%	11,928	-708
<65 (L5-L4)	100%	19,440	61%	11,928	-7,512
<65 (L3-L2)	100%	19,440	53%	10,384	-9,056
<65 (L1)	100%	19,440	85%	16,610	-2,830
Total - GSF	100%	342,653	98%	338,566	-4,087

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light, air and visibility. Place the housing in the tower where it is better suited.

- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B3 Reinforce the positive urban form
- B4 Design a well-proportioned & unified building

Departure #4 - Floor Size

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

- B. Story Size
- Each story in portions of structures above 145 feet shall have a maximum gross floor area of 8,800 square feet.

Departure Request #4 - Floor Size

Allowed	Requested	
SF	SF	% Increase
8,800	11,928	36%

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light/air and produces a better more well-proportioned tower.

- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B4 Design a well-proportioned & unified building

Departure #5 - Overhead Weather Protection

23.49.018 - Overhead Weather Protection and Lighting.

- A.
- Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:
1.

Are located farther than five (5) feet from the street property line or widened sidewalk on private property; or
2.

Abut a bonused open space amenity feature; or
3.

Are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or
4.

Are driveways into structures or loading docks.

Departure Request #5 -

Allow some canopies to not be continuous. Those areas will be defined at the recommendation meeting.

Rationale & Guidelines

Those areas will be defined at the recommendation meeting.

Departure Request Summary

Departures 1 through 4 are all requested to serve the same purpose:

- Reduce the building bulk in the podium to better respond to the immediate context of existing residential structures, per design guidelines B-1, B-2, C-1 and D-1
- Place the tower at the corner, as far away from the existing Adams and Fleming Apartments as possible, per design guidelines B-1 and B-2.
- Building mass and lost residential units would be redistributed to the simpler, better proportioned tower portion, per design guidelines B-4

Departure Request #1A - Max Width

Option 3: Community Preferred

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1A - Maximum Width

Height Feet	Bell Street			4th Ave		
	Allowed	Proposed	Delta	Allowed	Requested	Delta
>145 (L28-L27)	100	86	-14	100	130	30
>145 (L26-L14)	100	88	-12	100	134	34
65-145 (L13-L8)	120	88	-32	120	134	14
65-145 (L7-L6)	120	88	-32	120	141	21
<65 (L5-L2)	Site	88	-20	Site	141	-39
<65 (L1)	Site	106	0	Site	160	-20

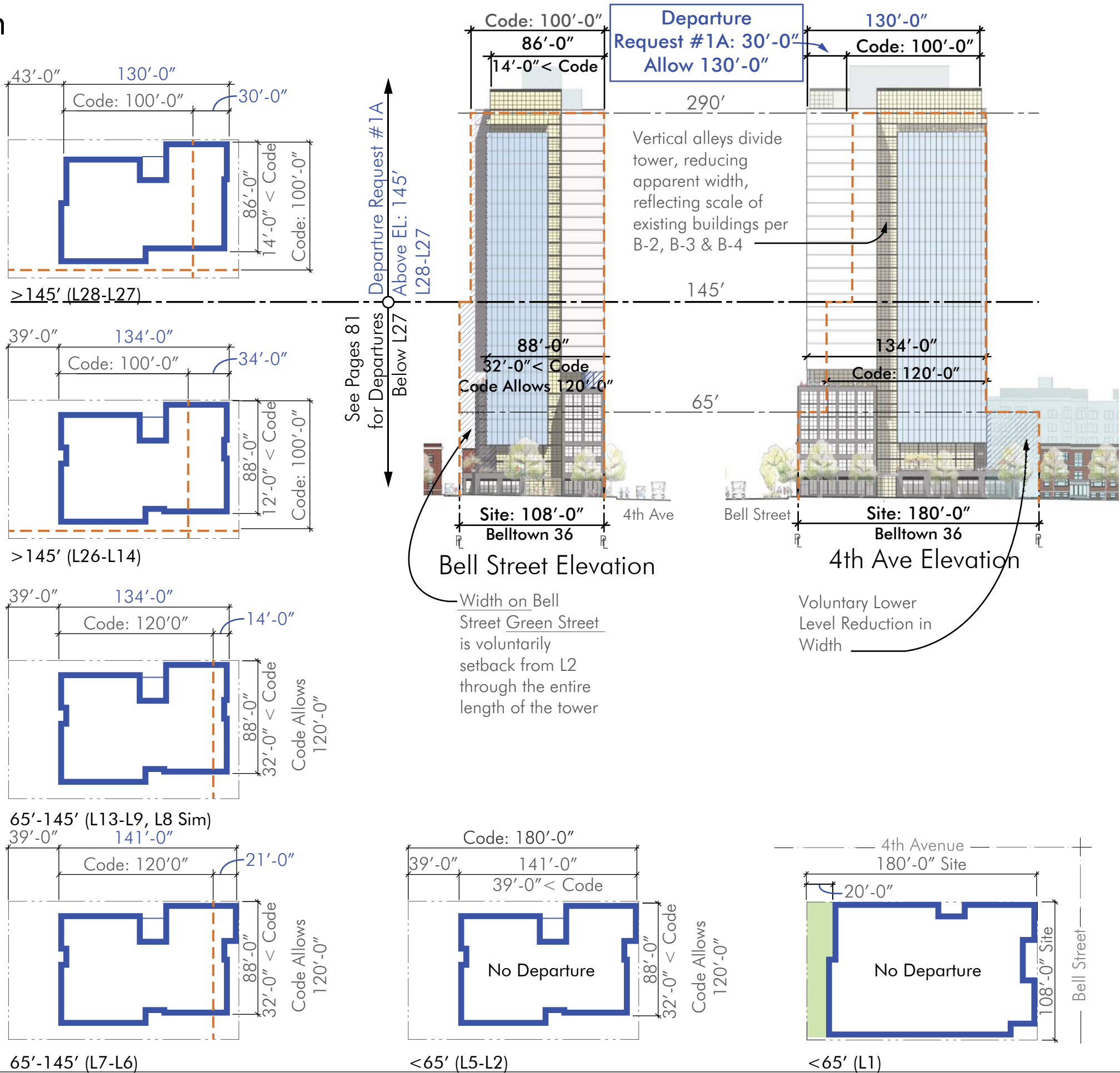
Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

The 1 story podium and voluntary lower level setbacks reinforce the adjacent 3 1/2 historic brick buildings and respond to the diversity in building scale seen throughout Belltown, **per A1-c**. That, combined with tower offsets from adjacent neighboring apartment buildings, *achieved by shifting the width from Bell Street to 4th Ave*, prioritize everyone’s direct access to light and air, **per A1-d**. Also, by shifting the tower width from Bell Street Green Street to 4th Ave, enhances the green street (**C-1 and D-1**) and prioritize views to Puget sounds and the Olympics. Tower placement is offset from adjacent current and proposed towers sharing access to sun and views for all **per A1-e**. In addition, by building close to the developable site potential it helps respond to the future and a growing Seattle **per A1 appendix**.

The significant vertical articulation (vertical alley’s) simplify the tower into slender simple building forms. These distinct building forms create unique but complimentary masses and the appearance of a tower composed of multiple separate smaller buildings populating the skyline and minimizing the overall perception of width of the tower (**A2**).

The unique Massing approach provides meaningful pedestrian orientated setbacks along more than 85% of the property line that are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provide the greatest separation for these older smaller scale structures. The lower level setbacks reveal a one story podium reinforcing established regulating lines and encourages a pedestrian-scale retail environment along a well activated Bell Street Green Street **per B2 and B3-a and B3-b**.



Departure Request #1B - Max Width

Option 3: Community Preferred

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1B - Maximum Width

Height Feet	Bell Street			4th Ave		
	Allowed	Proposed	Delta	Allowed	Requested	Delta
> 145 (L28-L27)	100	86	-14	100	130	30
> 145 (L26-L14)	100	88	-12	100	134	34
65-145 (L13-L8)	120	88	-32	120	134	14
65-145 (L7-L6)	120	88	-32	120	141	21
< 65 (L5-L2)	Site	88	-20	Site	141	-39
< 65 (L1)	Site	106	0	Site	160	-20

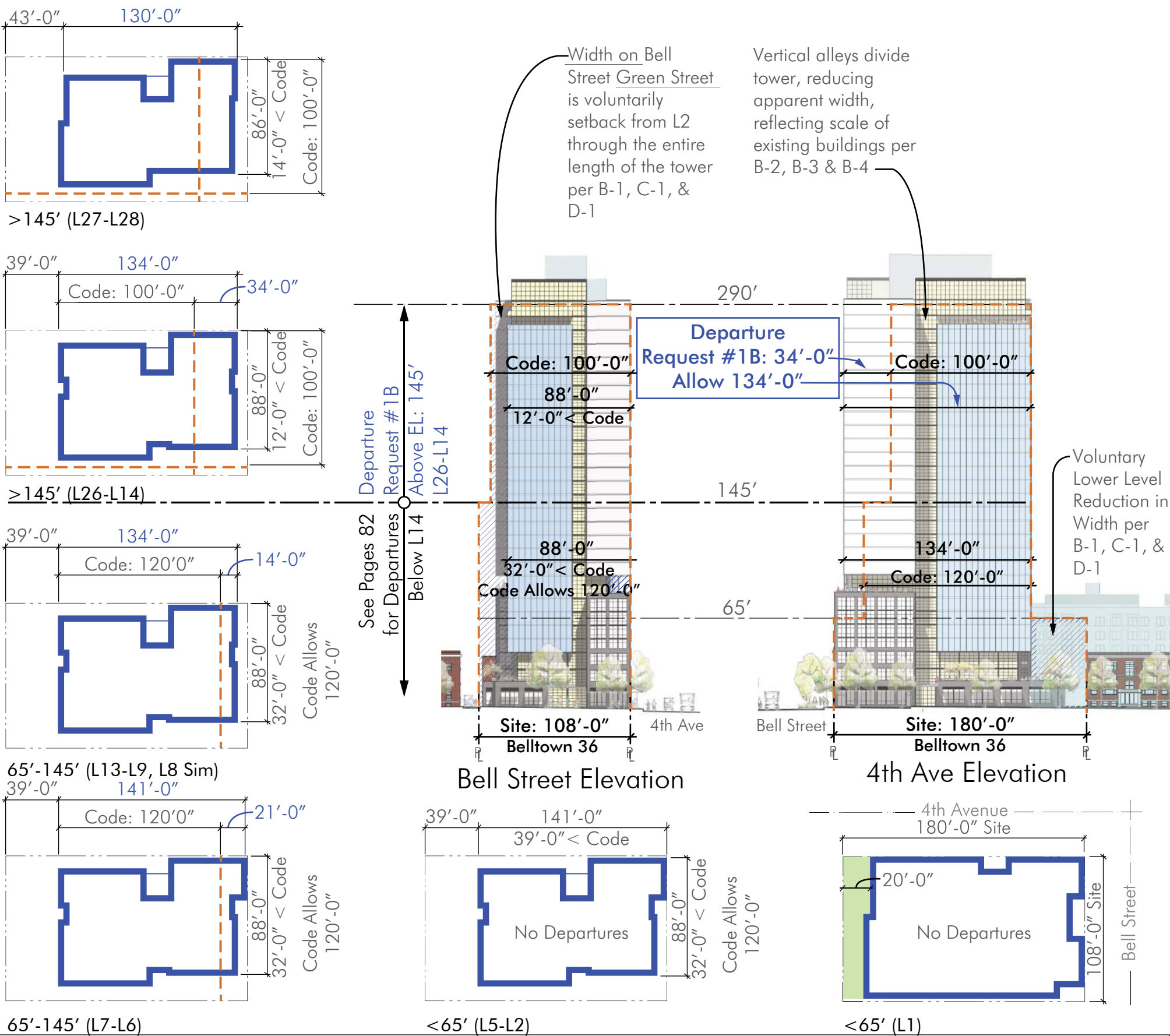
Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

The 1 story podium and voluntary lower level setbacks reinforces the adjacent 3 1/2 historic brick buildings and responds to the diversity in building scale seen throughout Belltown, **per A1-c**. That, combined with tower offsets from adjacent neighboring apartment buildings, *achieved by shifting the width from Bell Street to 4th Ave*, prioritize everyone’s direct access to light and air, **per A1-d**. Also by shifting the tower width from Bell Street Green Street to 4th Ave, enhances the green street (**C-1 and D-1**) and priorities views to Puget sounds and the Olympics. Tower placemeint is offset from adjacent current and proposed towers sharing access to sun and views for all **per A1-e**. In addition, by building close to the developable site potential it helps respond the future and a growing Seattle **per A1 appendix**.

The significant vertical articulation (vertical alley’s) simplify the tower into slender simple building forms. These distinct building forms create unique but complimentary masses and the appearance of a tower composed of multiple separate smaller buildings populating the skyline and minimizing the overall perception of width of the tower (**A2**).

The unique Massing approach provides meaningful pedestrian orientated setbacks along more than 85% of the property line that are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provide the greatest separation for these older smaller scale structures. The lower level setbacks reveal a one story podium reinforcing established regulating lines and encourages a pedestrian-scale retail environment along



Departure Request #1C- Max Width

Option 3: Community Preferred

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1C - Maximum Width

Height Feet	Bell Street			4th Ave		
	Allowed Feet	Proposed Feet	Delta	Allowed Feet	Requested Feet	Delta
> 145 (L28-L27)	100	86	-14	100	130	30
> 145 (L26-L14)	100	88	-12	100	134	34
65-145 (L13-L8)	120	88	-32	120	134	14
65-145 (L7-L6)	120	88	-32	120	141	21
< 65 (L5-L2)	Site	88	-20	Site	141	-39
< 65 (L1)	Site	106	0	Site	160	-20

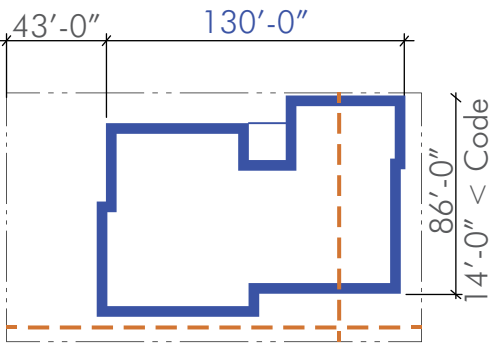
Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

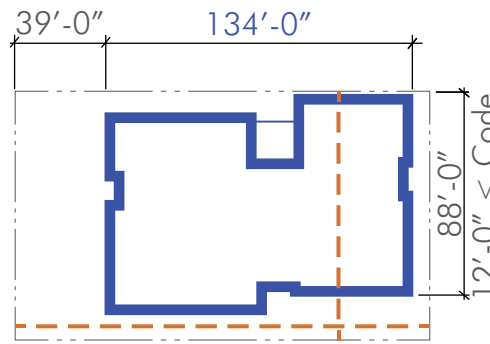
The 1 story podium and voluntary lower level setbacks reinforce the adjacent 3 1/2 historic brick buildings and respond to the diversity in building scale seen throughout Belltown, **per A1-c.** That, combined with tower offsets from adjacent neighboring apartment buildings, *achieved by shifting the width from Bell Street to 4th Ave*, prioritize everyone’s direct access to light and air, **per A1-d.** Also by shifting the tower width from Bell Street Green Street to 4th Ave, enhances the green street (**C-1 and D-1**) and priorities views to Puget sounds and the Olympics. Tower placement is offset from adjacent current and proposed towers sharing access to sun and views for all **per A1-e.** In addition, by building close to the developable site potential it helps respond the future and a growing Seattle **per A1 appendix.**

The significant vertical articulation (vertical alley’s) simplify the tower into slender simple building forms. These distinct building forms create unique but complimentary masses and the appearance of a tower composed of multiple separate smaller buildings populating the skyline and minimizing the overall perception of width of the tower (**A2**).

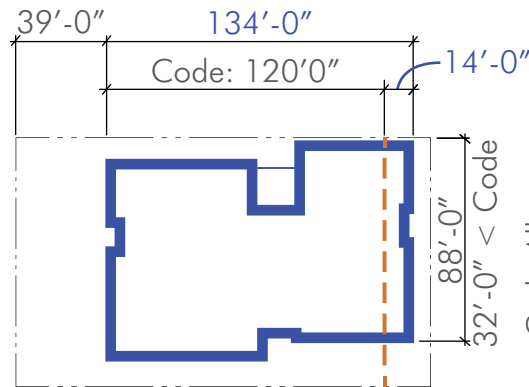
The unique Massing approach provides meaningful pedestrian orientated setbacks along more than 85% of the property line that are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provide the greatest separation for these older smaller scale structures. The lower level setbacks reveal a one story podium reinforcing established regulating lines and encourages a pedestrian-scale retail environment along a well activated Bell Street Green Street per B2 and B3-a and B3-b.



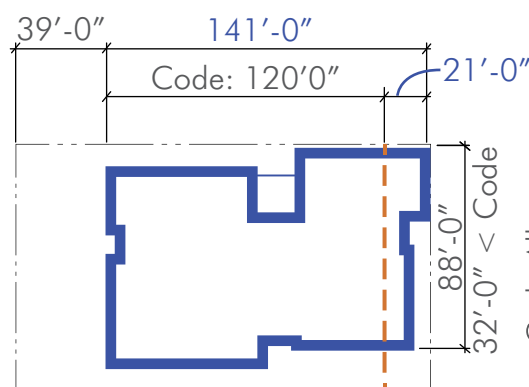
>145' (L27-L28)



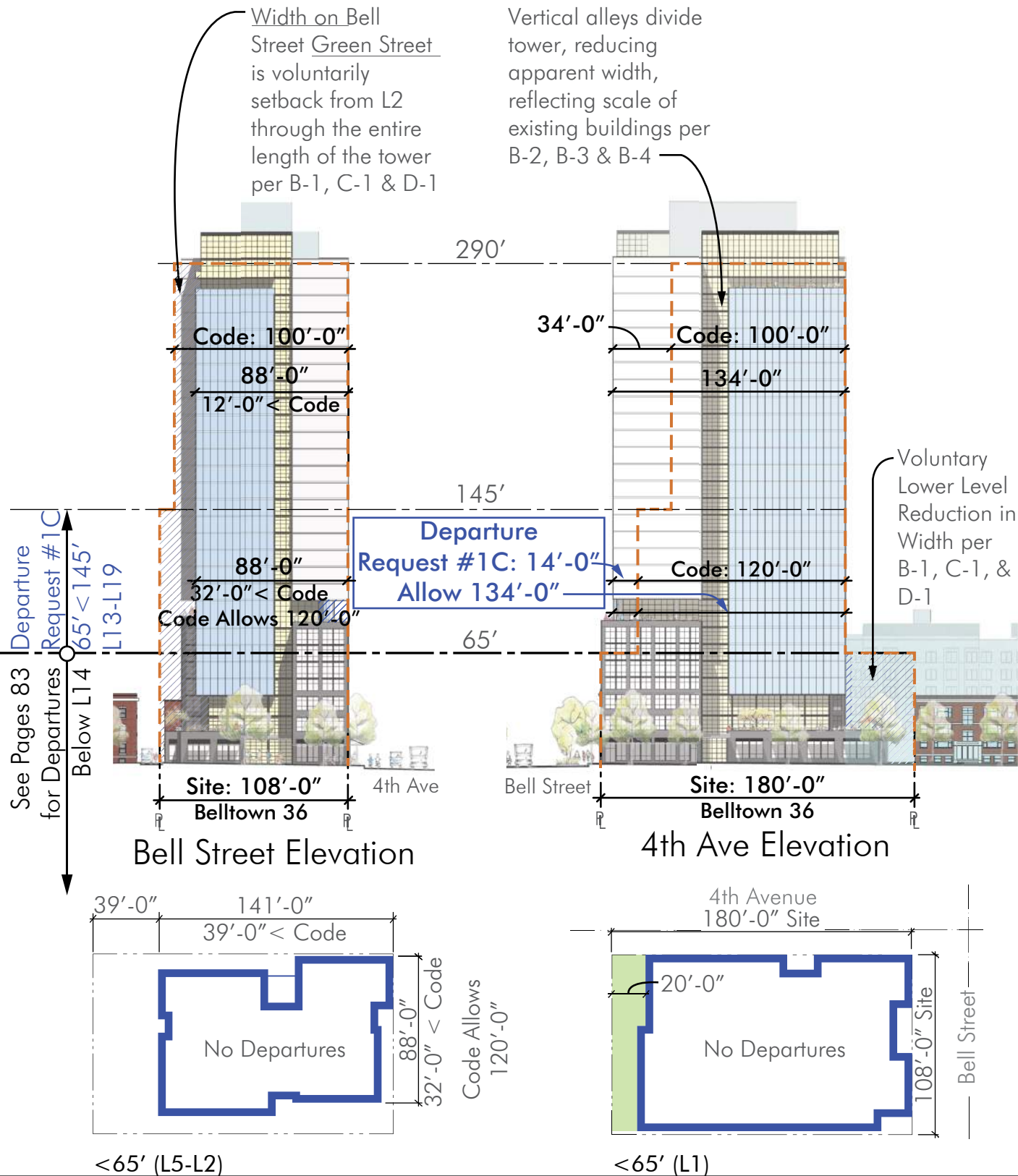
>145' (L26-L14)



65'-145' (L13-L9, L8 Sim)



65'-145' (L7-L6)



Departure Request #1D- Max Width

Option 3: Community Preferred

23.49.164 - Downtown Mixed Residential, maximum width, depth and separation requirements

TABLE A for 23.49.164

Maximum Width and Depth by Lot Size

Height of Portion of Structure (in feet)	Greater Than 19,000 Square Feet
Greater than 65 up to 145	120 feet
Greater than 145	100 feet

Departure Request #1D - Maximum Width

Height Feet	Bell Street			4th Ave		
	Allowed Feet	Proposed Feet	Delta	Allowed Feet	Requested Feet	Delta
> 145 (L28-L27)	100	86	-14	100	130	30
> 145 (L26-L14)	100	88	-12	100	134	34
65-145 (L13-L8)	120	88	-32	120	134	14
65-145 (L7-L6)	120	88	-32	120	141	21
< 65 (L5-L2)	Site	88	-20	Site	141	-39
< 65 (L1)	Site	106	0	Site	160	-20

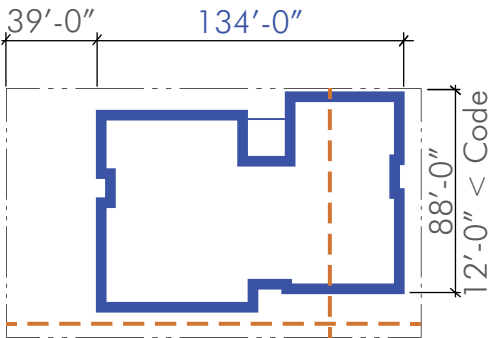
Rationale & Guidelines

Shift width from shorter Bell Street Green Street to much longer forth 4th Avenue.

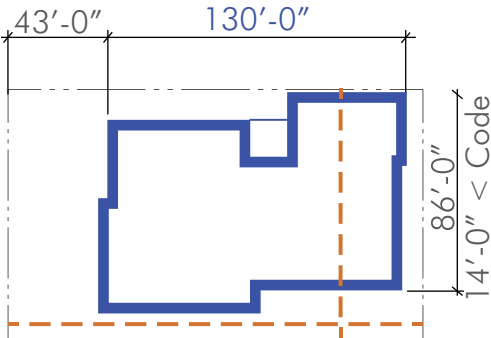
The 1 story podium and voluntary lower level setbacks reinforce the adjacent 3 1/2 historic brick buildings and respond to the diversity in building scale seen throughout Belltown, **per A1-c.** That, combined with tower offsets from adjacent neighboring apartment buildings, *achieved by shifting the width from Bell Street to 4th Ave*, prioritize everyone’s direct access to light and air, **per A1-d.** Also by shifting the tower width from Bell Street Green Street to 4th Ave, enhances the green street (**C-1 and D-1**) and priorities views to Puget sounds and the Olympics. Tower placemeint is offset from adjacent current and proposed towers sharing access to sun and views for all **per A1-e.** In addition, by building close to the developable site potential it helps respond the future and a growing Seattle **per A1 appendix.**

The significant vertical articulation (vertical alley’s) simplify the tower into slender simple building forms. These distinct building forms create unique but complimentary masses and the appearance of a tower composed of multiple separate smaller buildings populating the skyline and minimizing the overall perception of width of the tower (**A2**).

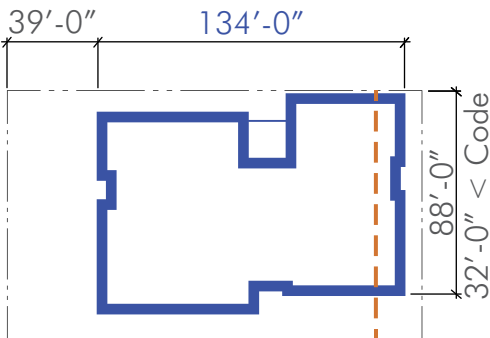
The unique Massing approach provides meaningful pedestrian orientated setbacks along more than 85% of the property line that are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provide the greatest separation for these older smaller scale structures. The lower level setbacks reveal a one story podium reinforcing established regulating lines and encourages a pedestrian-scale retail environment along a well activated Bell Street Green Street **per B2 and B3-a and B3-b.**



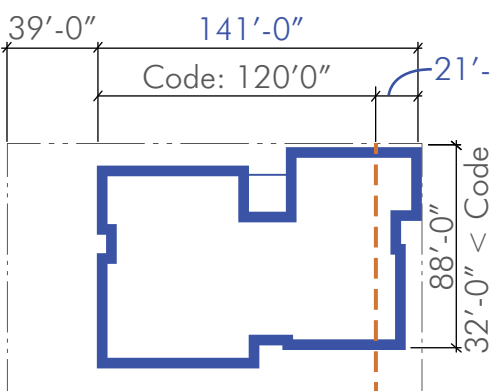
>145' (L26-L14)



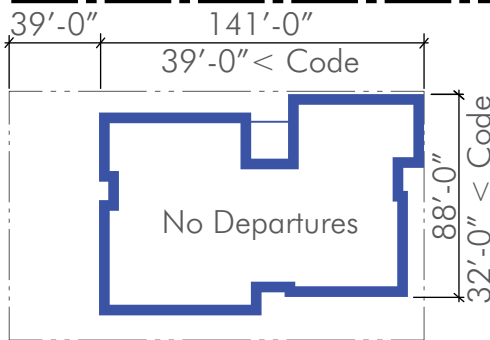
>145' (L27-L28)



65'-145' (L13-L9, L8 Sim)



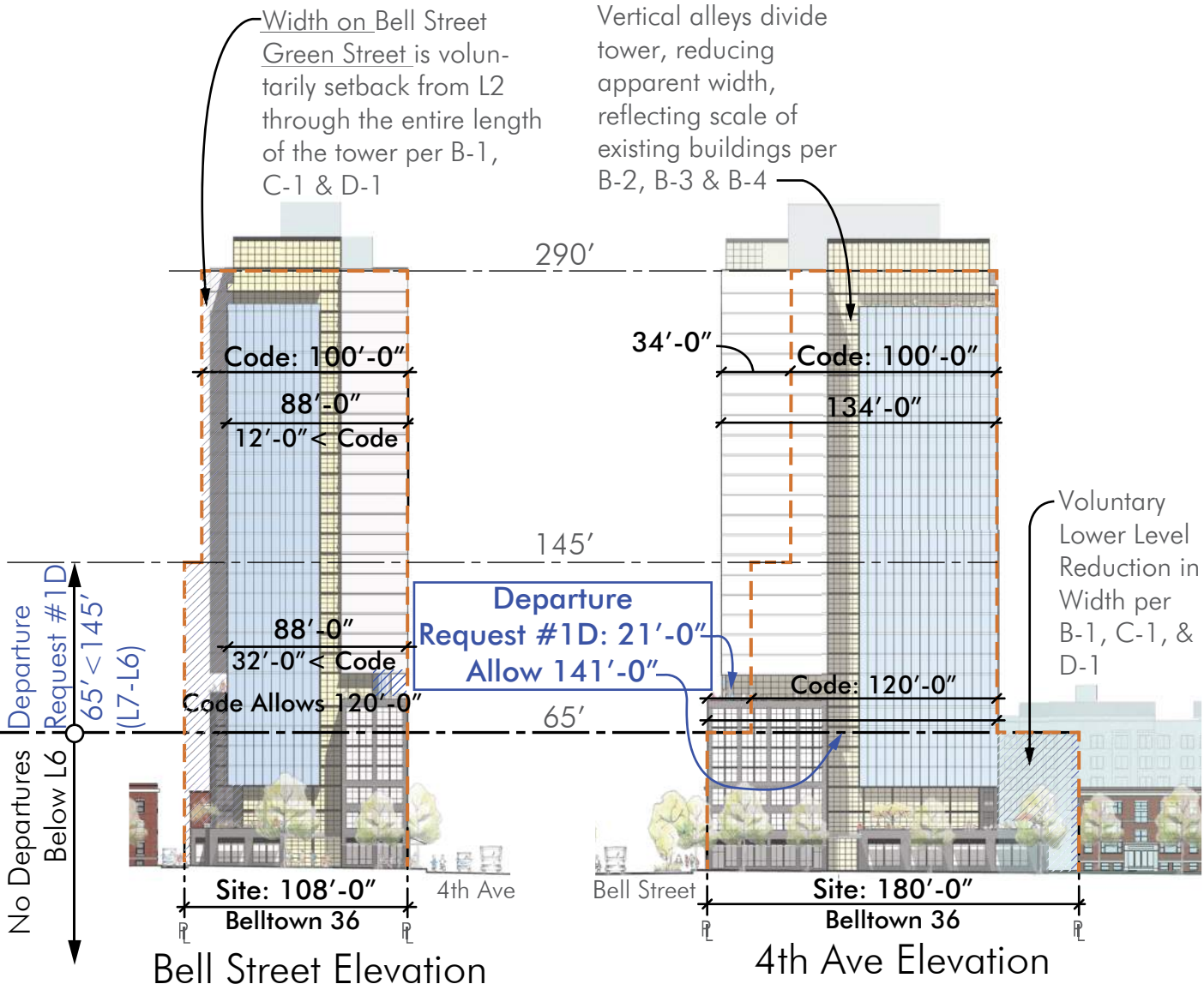
65'-145' (L7-L6)



<65' (L5-L2)



<65' (L1)



Departure Request #2 - Green Street Set Back

Option 3: Community Preferred

23.49.166 - Downtown Mixed Residential, side setback and green street setback requirements

Departure Request #2 -Green Street Set Back

Green Street Set-Back	Code	Option 1	Option 3
	FT	FT	FT
Average Per Floor	27	52	33

Request: 7' Setback at 290' & 33' average Setback per floor

Rationale & Guidelines

Recognize the site is on the NW side of the Green Street and casts little shade on the Green Street.

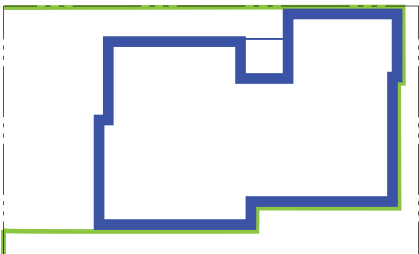
Allow the Green Street Setbacks to be modified to better serve the immediate context, the pedestrian experience, and the existing adjacent affordable housing.

The 1 story podium and voluntary lower level setbacks reinforce the adjacent 3 1/2 historic brick buildings and respond to the diversity in building scale seen throughout Belltown, per A1-c. That, combined with tower offsets from adjacent neighboring apartment buildings, achieved by shifting the width from Bell Street to 4th Ave, prioritize everyone's direct access to light and air, per A1-d. Also by shifting the tower width from Bell Street Green Street to 4th Ave, enhances the green street (C-1 and D-1) and priorities views to Puget sounds and the Olympics. Tower placement is offset from adjacent current and proposed towers sharing access to sun and views for all per A1-e. In addition, by building close to the developable site potential it helps respond the future and a growing Seattle per A1 appendix.

The unique Massing approach provides meaningful pedestrian orientated setbacks along more than 85% of the property line that are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provide the greatest separation for these older smaller scale structures. The lower level setbacks reveal a one story podium reinforcing established regulating lines and encourages a pedestrian-scale retail environment along a well activated Bell Street Green Street per B2 and B3-a and B3-b.



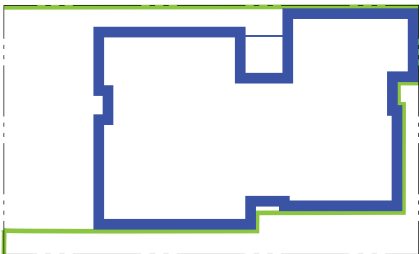
Rainier Tower: Showing the clear benefits of lower level setbacks



> 145' (L27-L28)



> 85' (L26-L9, L8 Sim)



65'-145' (L7-L6)



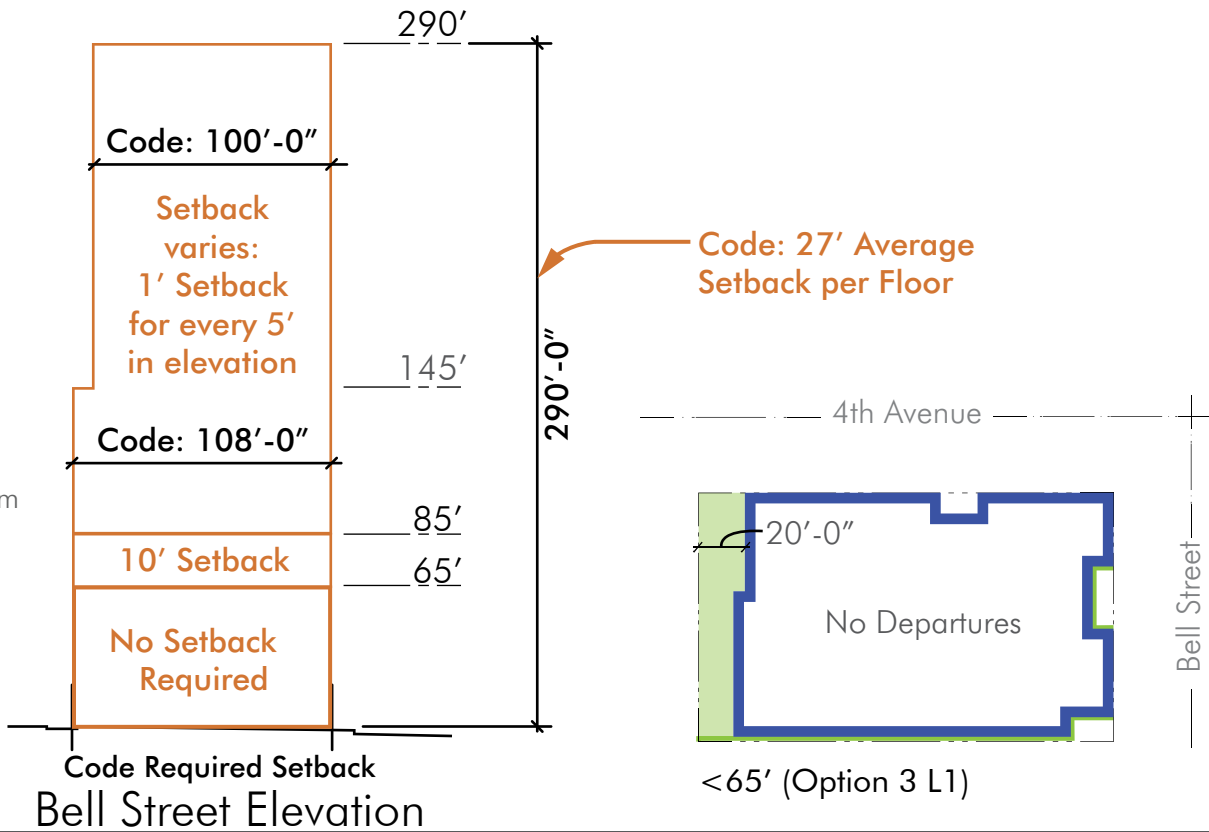
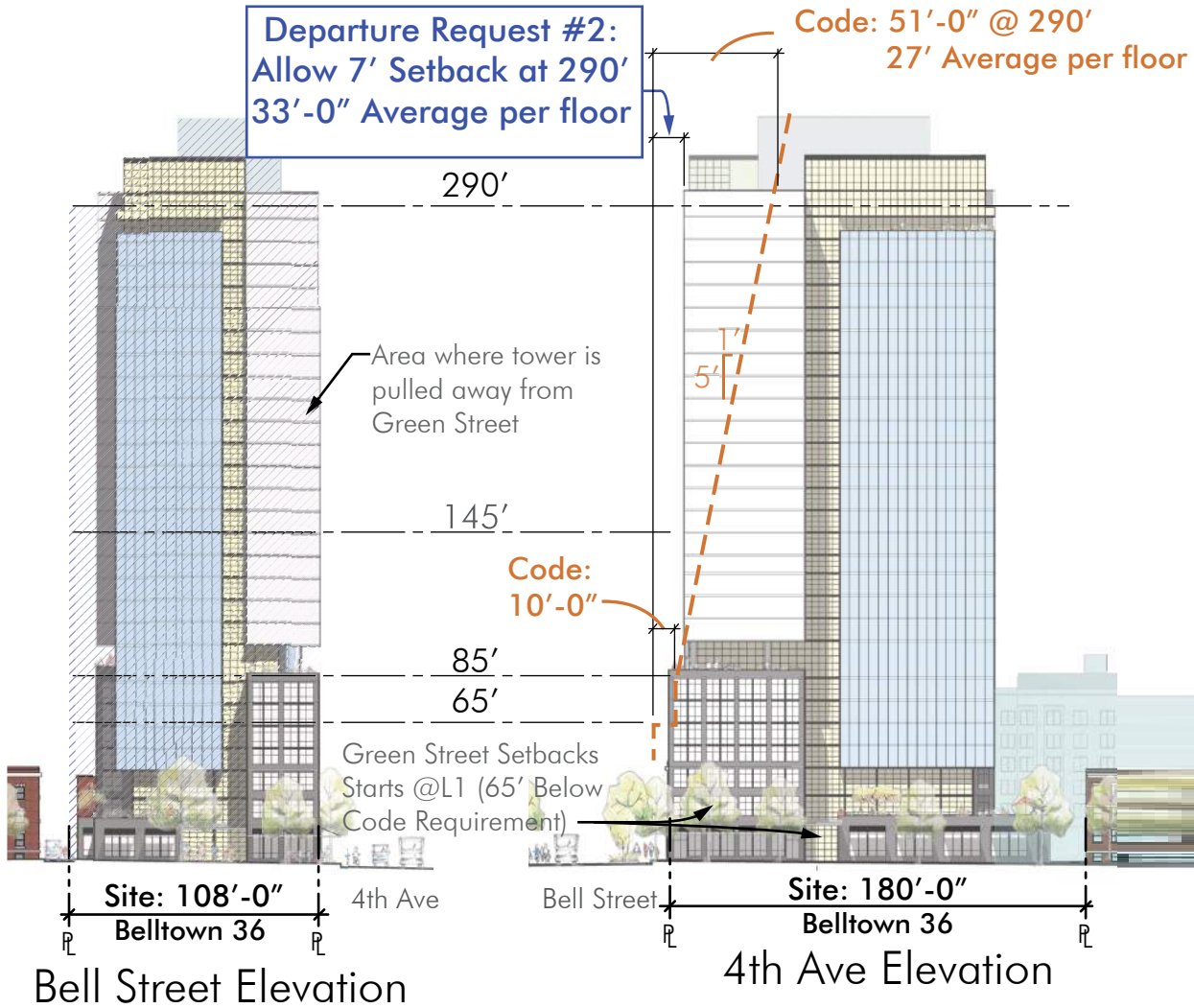
< 65' (L5-L4)



< 65' (L3-L2)

Departure Request #2
No Departures Below 65' Above EL: 65' L5-L1 L29-L6

Line of setback from Green Street Average = 33'-0" per floor



Departure Request #3A - Lot Coverage

Option 3: Community Preferred

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

TABLE A for 23.49.158

Percent coverage permitted by lot size

Height of Portion of Structure (in feet)	19,001 - 25,000 Square Feet
65 or less	100%
Greater than 65 up to 85	65%
Greater than 85 up to 145	55%
Greater then 145 up to 280	45%

Departure Request #3A - Lot Coverage

Site Area	Allowed		Requested		
	%	SF	%	SF	Delta
19,440					
> 145 (L28-L14)	45%	8,748	61%	11,928	3,180
85-145 (L13-L9)	55%	10,692	61%	11,928	1,236
85-145 (L8)	55%	10,692	49%	9,473	-1,219
65-85 (L7-L6)	65%	12,636	61%	11,928	-708
< 65 (L5-L4)	100%	19,440	61%	11,928	-7,512
< 65 (L3-L2)	100%	19,440	53%	10,384	-9,056
< 65 (L1)	100%	19,440	85%	16,610	-2,830
Total - 290 GSF	100%	342,653	98%	338,566	-4,087

Note: Proposed Option #3 reduces total GSF of Option #1: Code Compliant by 4,087 SF

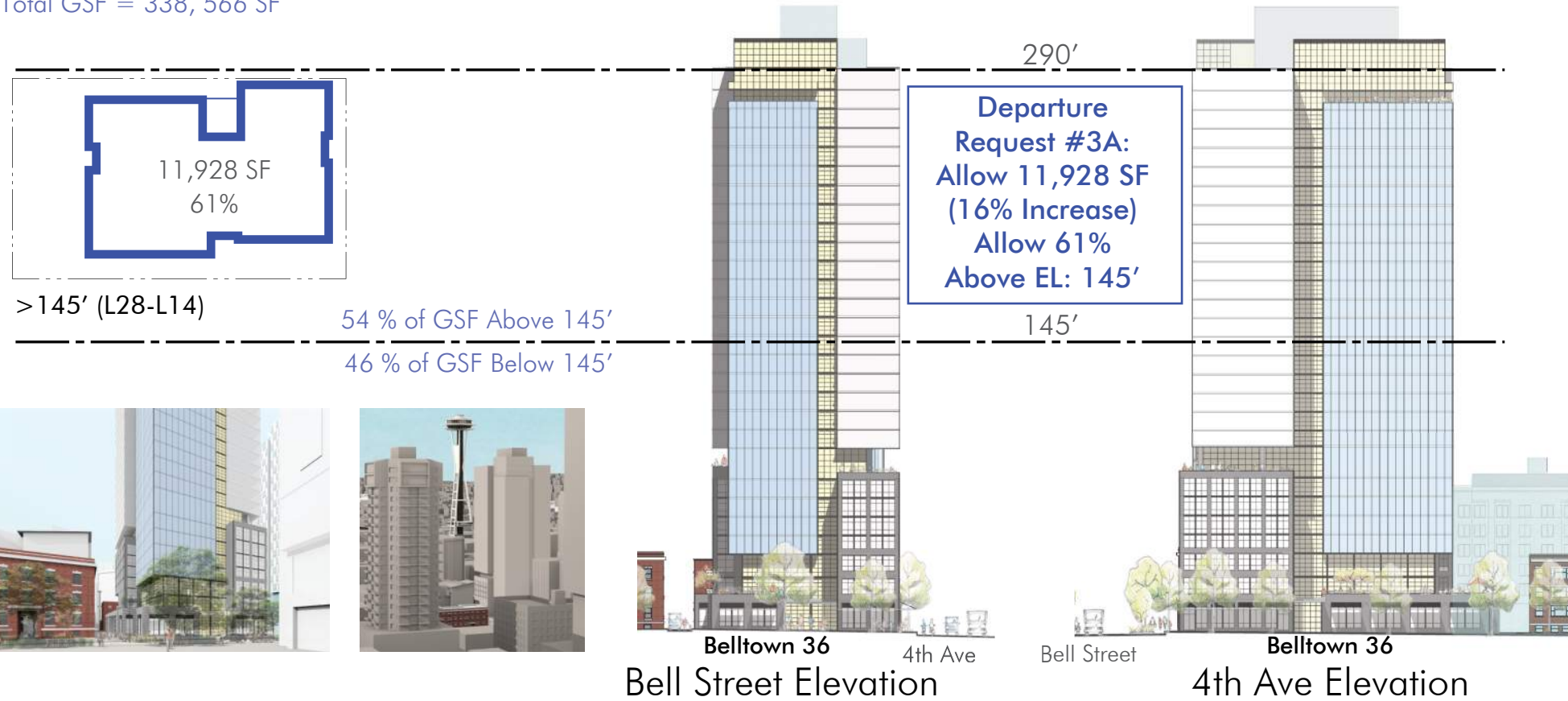
Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light, air and visibility. Place the housing in the tower where it is better suited.

Shifting bulk into the tower and away from lower levels provides relief for the older, smaller scale structures that are integral to the diverse fabric of Belltown (B3 & B2) and encourages the vibrant street life that is sought by the Bell Street Green Street (C1). The unique massing approach presented in Option 3 provides meaningful pedestrian orientated setbacks along more than 85% of the property line are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provided the great separation for the these older smaller scale structures (B2). (A2) Additionally, shifting bulk into the tower creates more efficient proportions for residential units, giving them more access to light and views (A1-e), and maximizes housing potential, while underdeveloping the site by 4,087 SF.

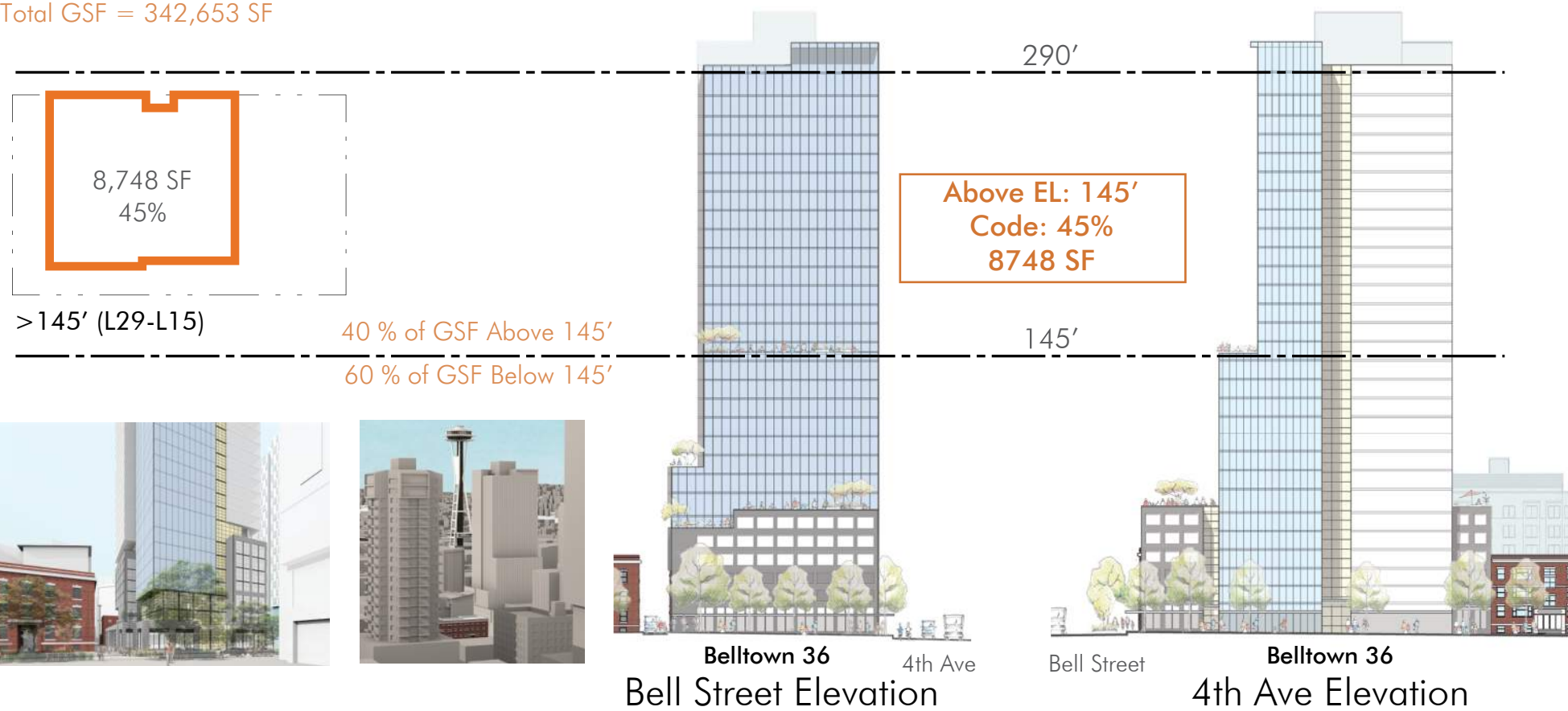
Option 3: Community Preferred

Total GSF = 338, 566 SF



Option 1: Code Compliant

Total GSF = 342,653 SF



Departure Request #3B - Lot Coverage

Option 3: Community Preferred

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

TABLE A for 23.49.158

Percent coverage permitted by lot size

Height of Portion of Structure (in feet)	19,001 - 25,000 Square Feet
65 or less	100%
Greater than 65 up to 85	65%
Greater than 85 up to 145	55%
Greater then 145 up to 280	45%

Departure Request #3B - Lot Coverage

Site Area	Allowed		Requested		
19,440	%	SF	%	SF	Delta
>145 (L28-L14)	45%	8,748	61%	11,928	3,180
85-145 (L13-L9)	55%	10,692	61%	11,928	1,236
85-145 (L8)	55%	10,692	49%	9,473	-1,219
65-85 (L7-L6)	65%	12,636	61%	11,928	-708
<65 (L5-L4)	100%	19,440	61%	11,928	-7,512
<65 (L3-L2)	100%	19,440	53%	10,384	-9,056
<65 (L1)	100%	19,440	85%	16,610	-2,830
Total - 290	100%	342,653	98%	338,566	-4,087

Note: Proposed Option #3 reduces total GSF of Option #1: Code Compliant by 4,087 SF

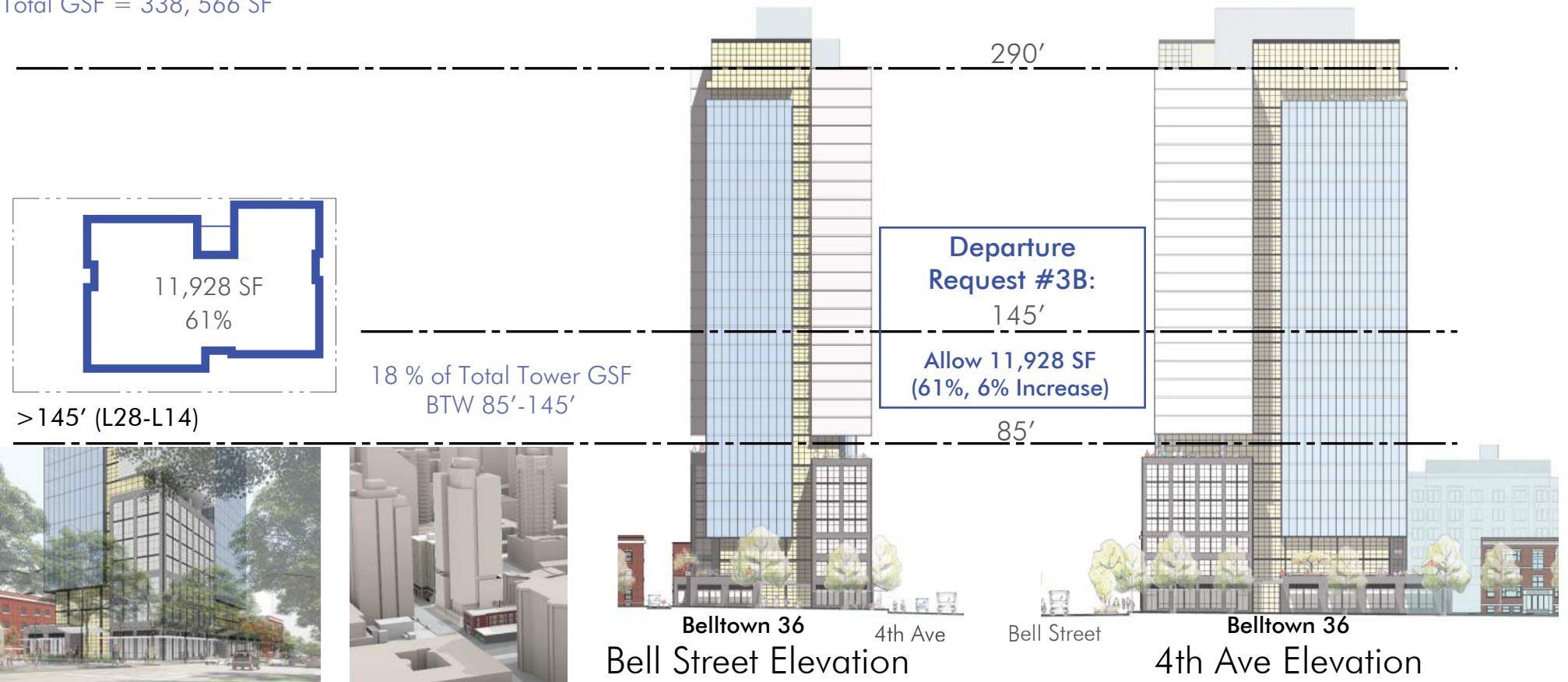
Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light, air and visibility. Place the housing in the tower where it is better suited.

Shifting bulk into the tower and away from lower levels provides relief for the older, smaller scale structures that are integral to the diverse fabric of Belltown (B3 & B2) and encourages the vibrant street life that is sought by the Bell Street Green Street (C1). The unique massing approach presented in Option 3 provides meaningful pedestrian orientated setbacks along more than 85% of the property line are sympathetic to neighborhood icons, like the Adams and Fleming Apartments and provided the great separation for the these older smaller scale structures (B2). (A2) Additionally, shifting bulk into the tower creates more efficient proportions for residential units, giving them more access to light and views (A1-e), and maximizes housing potential, while underdeveloping the site by 4,087 SF.

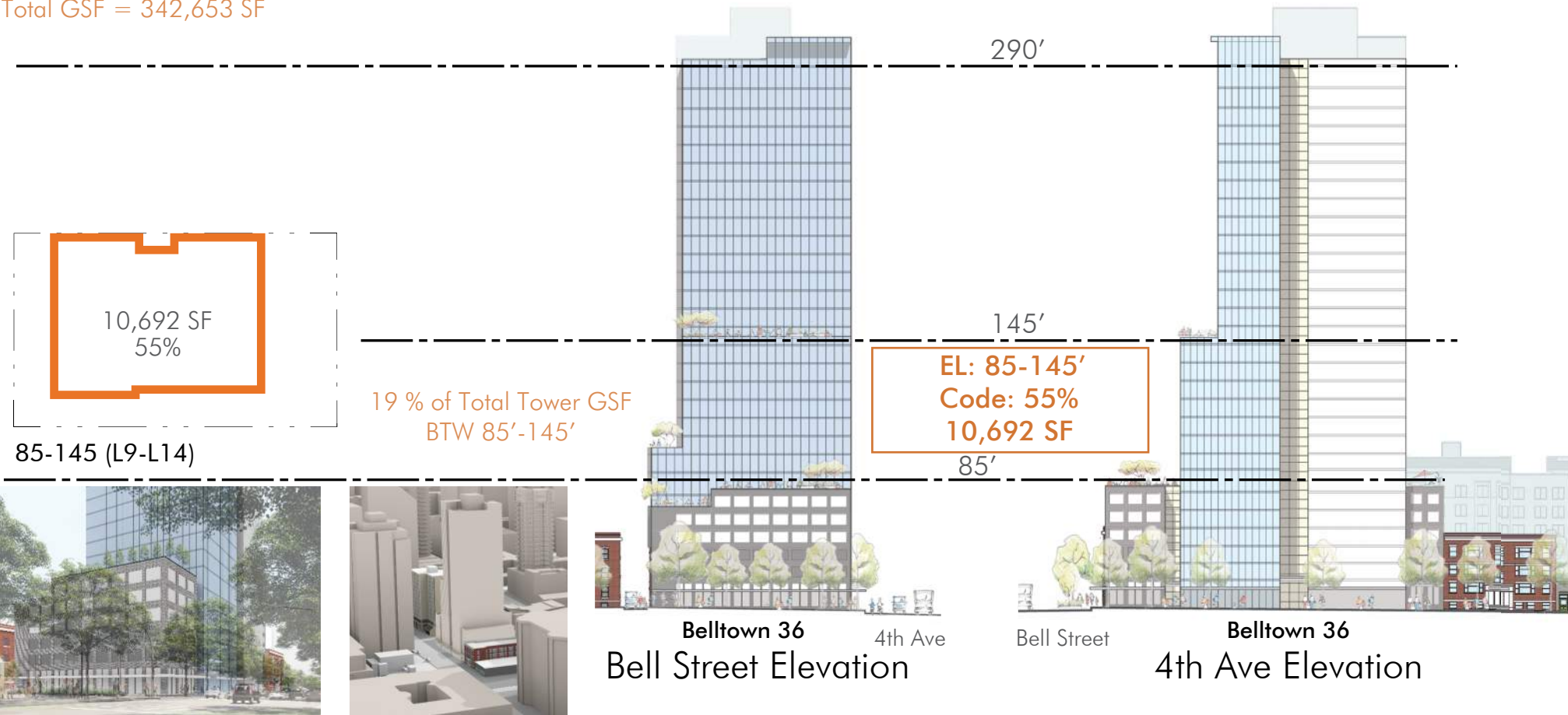
Option 3: Community Preferred

Total GSF = 338, 566 SF



Option 1: Code Compliant

Total GSF = 342,653 SF



Departure Request #4 - Floor Size

Option 3: Community Preferred

23.49.158 - Downtown Mixed Residential, coverage and floor size limits

Departure Request #4 - Floor Size

Allowed	Requested	
SF	SF	% Increase
8,800	11,928	36%

Rationale & Guidelines

Remove bulk from the base to enhance the Green Street and provide the adjacent low-scale affordable housing with light/air and produces a better more well-proportioned tower.

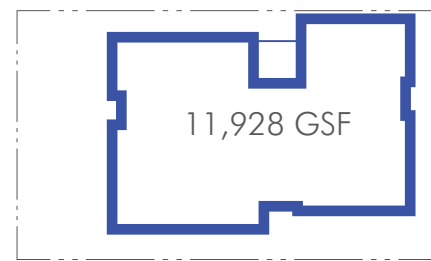
- A2 Enhance the Skyline
- B1 Relating to the Neighborhood Context
- B2 Create a transition in bulk and scale
- B4 Design a well-proportioned & unified building

To significantly better the street level, voluntary setbacks on all 4 sides of the building begin at the ground floor and continue the width of the tower. These setbacks create opportunities for retail spill-out, alley activation, and create midblock public green space. In order to maximize the potential of the site, increasing access to housing, while protecting existing affordable housing options.

Reducing the building bulk in the podium to better respond to the immediate context of existing residential structures, Place the tower at the corner, as far away from the existing Adams and Fleming Apartments as possible, and to redistribute the mass removed in the podium into a better proportioned unified tower. The shifted square footage from the lower podium levels to the tower levels has huge and meaningful positive benefit to the street life and pedestrian environment and minimal change to the presentation of the towers mass.

Option 3: Community Preferred

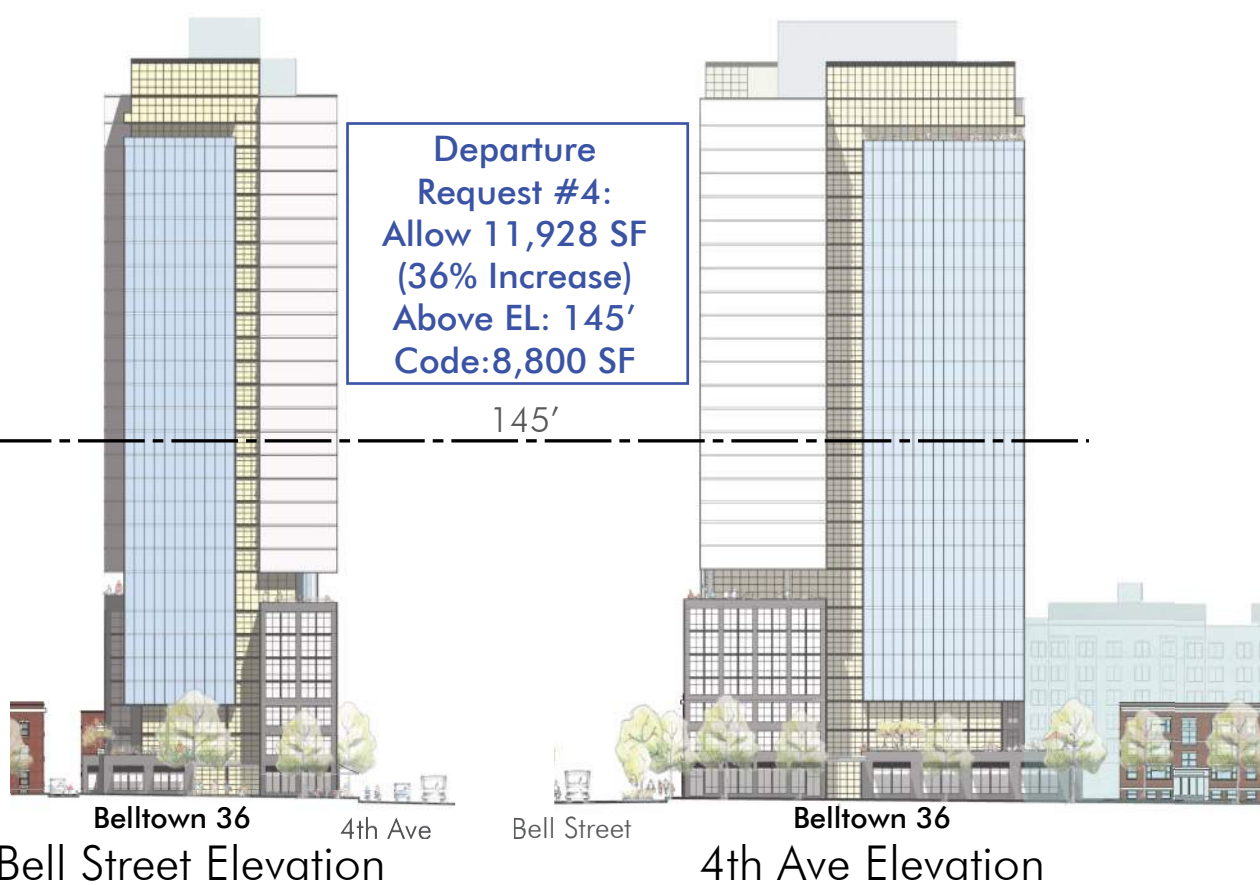
Total GSF = 338, 566 SF



> 145' (L28-L14)

54% of GSF Above 145'

46 % of GSF Below 145'



Option 1: Code Compliant

Total GSF = 342,653 SF



> 145' (L29-L15)

40 % of GSF Above 145'

60 % of GSF Below 145'



Requested Departure: 5

Continuous Overhead Weather Protection

Code Language:

23.49.018 - Overhead Weather Protection and Lighting.
A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:

1. are located farther than five (5) feet from the street property line or widened sidewalk on private property; or
2. Abut a bonused open space amenity feature; or
3. Are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or
4. Are driveways into structures or loading docks.

Requested Departure:

Allow some overhead weather protection to not be continuous. Those areas will be defined at the recommendation meeting.

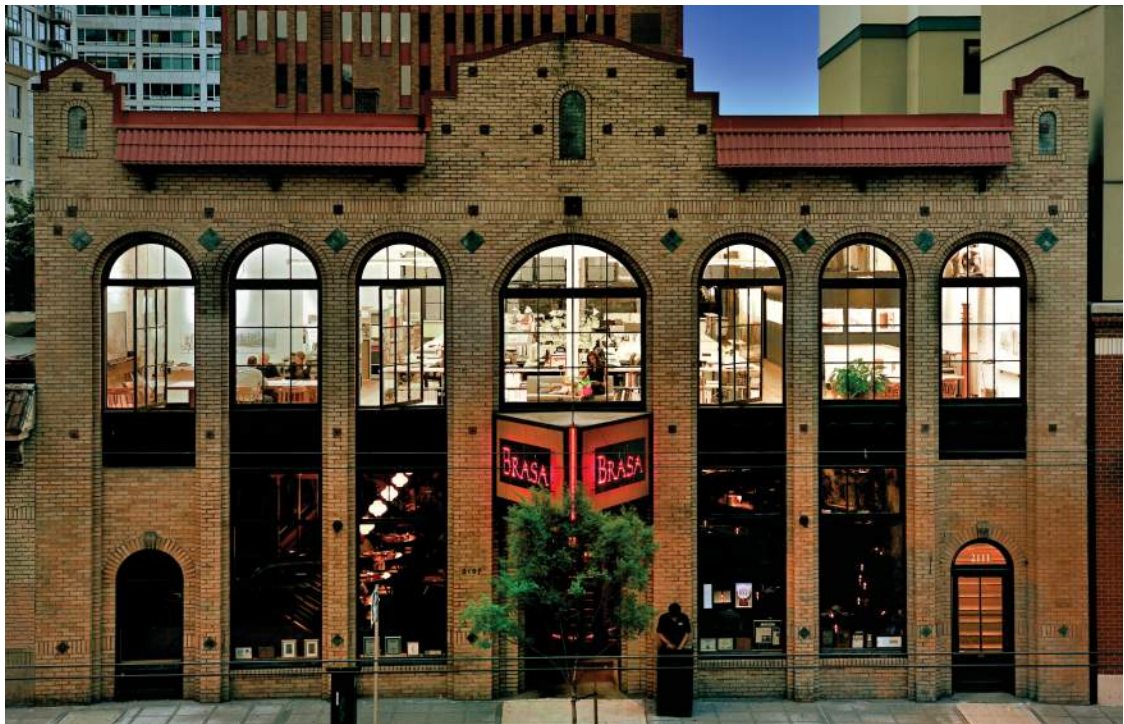
Guidelines/Rationale

The code requires continuous overhead weather protection, however continuous overhead weather protection do not exist on any adjacent or nearby structures and is not the pattern in Belltown. The proposal anticipates overhead weather protection over most areas, but to better meet the guidelines of respecting exiting patterns the applicant proposes to break the overhead weather protection at some columns.



10.0 Appendix

About Bumgardner

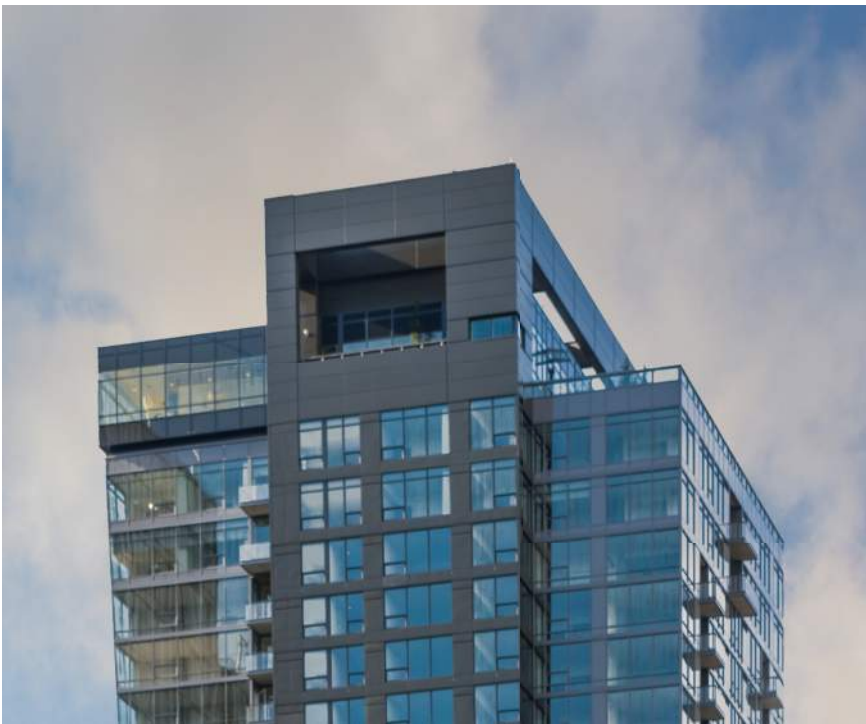


Bumgardner:
2111 3rd Ave.



Belltown 36:

Bumgardner offices have been located in a 1923 Stoddard & Son designed two story building at 2111 3rd Avenue since 2003.



Kinects Tower Top



Kinects Art



Kinects Streetscape



Level 1 - Kinects Entry

Bumgardner is a 60 year old Planning, Architecture and Interior Design firm with a focus on urban mixed use and residential high-rise. The recently completed Kinects Tower in the Denny Triangle won Residential High Rise of the Year by NAIOP in November of 2017.

Bell Street Looking North Toward the Bell Street Alley



Corner of Bell Street and 4th Ave



Option 3: Preferred

4th Ave Looking West toward Mid-block green connector

